

THE CITY OF NEW YORK
 MANHATTAN COMMUNITY BOARD 3
 59 East 4th Street - New York, NY 10003
 Phone (212) 533-5300
 www.cb3manhattan.org - mn03@cb.nyc.gov

Alysha Lewis-Coleman, Board Chair

Susan Stetzer, District Manager

Community Board 3 Liquor License Application Questionnaire

Please bring the following items to the meeting:

NOTE: ALL ITEMS MUST BE SUBMITTED FOR APPLICATION TO BE CONSIDERED.

- Photographs of the inside and outside of the premise.
- Schematics, floor plans or architectural drawings of the inside of the premise.
- A proposed food and or drink menu.
- Notice of proposed business to block or tenant association if one exists. You can find community groups and contact information on the CB 3 website:
http://www.nyc.gov/html/mancb3/html/communitygroups/community_group_listings.shtml

Check which you are applying for:

- new liquor license
- alteration of an existing liquor license
- corporate change

Check if either of these apply:

- sale of assets
- upgrade (change of class) of an existing liquor license

Today's Date: September 25, 2020

If applying for sale of assets, you must bring letter from current owner confirming that you are buying business or have the seller come with you to the meeting.

Is location currently licensed? Yes No Type of license: _____

If alteration, describe nature of alteration: _____

Previous or current use of the location: Unknown

Corporation and trade name of current license: N/A

APPLICANT:

Premise address: 64 2nd Avenue

Cross streets: 2nd Avenue between E. 3rd Street and E. 4th Street

Name of applicant and all principals: The Bronx Brewery, LLC

Trade name (DBA): _____

PREMISE:

Type of building and number of floors: 5-story building built in 1900; this business will occupy the ground floor and cellar

Will any outside area or sidewalk cafe be used for the sale or consumption of alcoholic beverages? (includes roof & yard) Yes No If Yes, describe and show on diagram: _____

Does premise have a valid Certificate of Occupancy and all appropriate permits, including for any back or side yard use? Yes No What is maximum NUMBER of people permitted? 74

Do you plan to apply for Public Assembly permit? Yes No

What is the zoning designation (check zoning using map: <http://gis.nyc.gov/doitt/nycitymap/> - please give specific zoning designation, such as R8 or C2): R7A with C2-5 commercial overlay

PROPOSED METHOD OF OPERATION:

Will any other business besides food or alcohol service be conducted at premise? Yes No

If yes, please describe what type: small-scale/pilot beer production

What are the proposed days/hours of operation? (Specify days and hours each day and hours of outdoor space) Sunday - Thursday 11am - 12am; Friday - Saturday 11am - 2am

Number of tables? 18 Total number of seats? 59

How many stand-up bars/ bar seats are located on the premise? 1 bar with 10 seats

(A **stand up bar** is any bar or counter (whether with seating or not) over which a patron can order, pay for and receive an alcoholic beverage)

Describe all bars (length, shape and location): one 20' rectangular bar on ground floor

Does premise have a full kitchen Yes No?

Does it have a food preparation area? Yes No (If any, show on diagram)

Is food available for sale? Yes No If yes, describe type of food and submit a menu burgers, including a full vegan menu

What are the hours kitchen will be open? Sunday - Thursday 11am - 12am; Friday - Saturday 11am - 2am

Will a manager or principal always be on site? Yes No If yes, which? Manager

How many employees will there be? 10

Do you have or plan to install French doors accordion doors or windows?

Will there be TVs/monitors? Yes No (If Yes, how many?) 2

Will premise have music? Yes No

If Yes, what type of music? Live musician DJ Juke box Tapes/CDs/iPod

If other type, please describe streaming music service

What will be the music volume? Background (quiet) Entertainment level

Please describe your sound system: amplified system (possibly off-the-shelf Sonos system) to be designed after consultation with sound engineer and to include sound limiter

Will you host any promoted events, scheduled performances or any event at which a cover fee is charged? If Yes, what type of events or performances are proposed and how often? _____
Yes, we would like have occasional events such as an Oktoberfest or pre-sold dinner/beer pairings.

How do you plan to manage vehicular traffic and crowds on the sidewalk caused by your establishment? Please attach plans. (Please do not answer "we do not anticipate congestion.")

This is a small space with an occupancy limit of 74; 10 of which will be staff. Though not anticipated, should there be any line outside at any point, a staff member will be assigned to monitor and disperse any crowd as needed. Should a ticketed event be held, a security guard will be hired to manage the door and any congestion outside.

Will there be security personnel? Yes No (If Yes, how many and when) _____

As indicated above, a security guard will be hired in the event we hold a ticketed event and on an as-needed basis during busy periods.

How do you plan to manage noise inside and outside your business so neighbors will not be affected? Please attach plans.

Do you have sound proofing installed? Yes No

If not, do you plan to install sound-proofing? Yes No

APPLICANT HISTORY:

Has this corporation or any principal been licensed previously? Yes No

If yes, please indicate name of establishment: The Bronx Brewery, LLC

Address: 856 E. 136th Street, Bronx, NY 10454 Community Board # Bronx CB 1

Dates of operation: 2011 - present

Has any principal had work experience similar to the proposed business? Yes No If Yes, please attach explanation of experience or resume.

Does any principal have other businesses in this area? Yes No If Yes, please give trade name and describe type of business _____

Has any principal had SLA reports or action within the past 3 years? Yes No If Yes, attach list of violations and dates of violations and outcomes, if any.

Attach a separate diagram that indicates the location (**name and address**) and total number of establishments selling/serving beer, wine (B/W) or liquor (OP) for 2 blocks in each direction. Please indicate whether establishments have On-Premise (OP) licenses. Please label streets and avenues and identify your location. Use letters to indicate **Bar**, **Restaurant**, etc. The diagram must be submitted with the questionnaire to the Community Board before the meeting.

LOCATION:

How many licensed establishments are within 1 block? 8 within 1 block

How many On-Premise (OP) liquor licenses are within 500 feet? 20 as per the enclosed NYSLA Proximity Report

Is premise within 200 feet of any school or place of worship? Yes No (As per NYSLA Proximity Report)

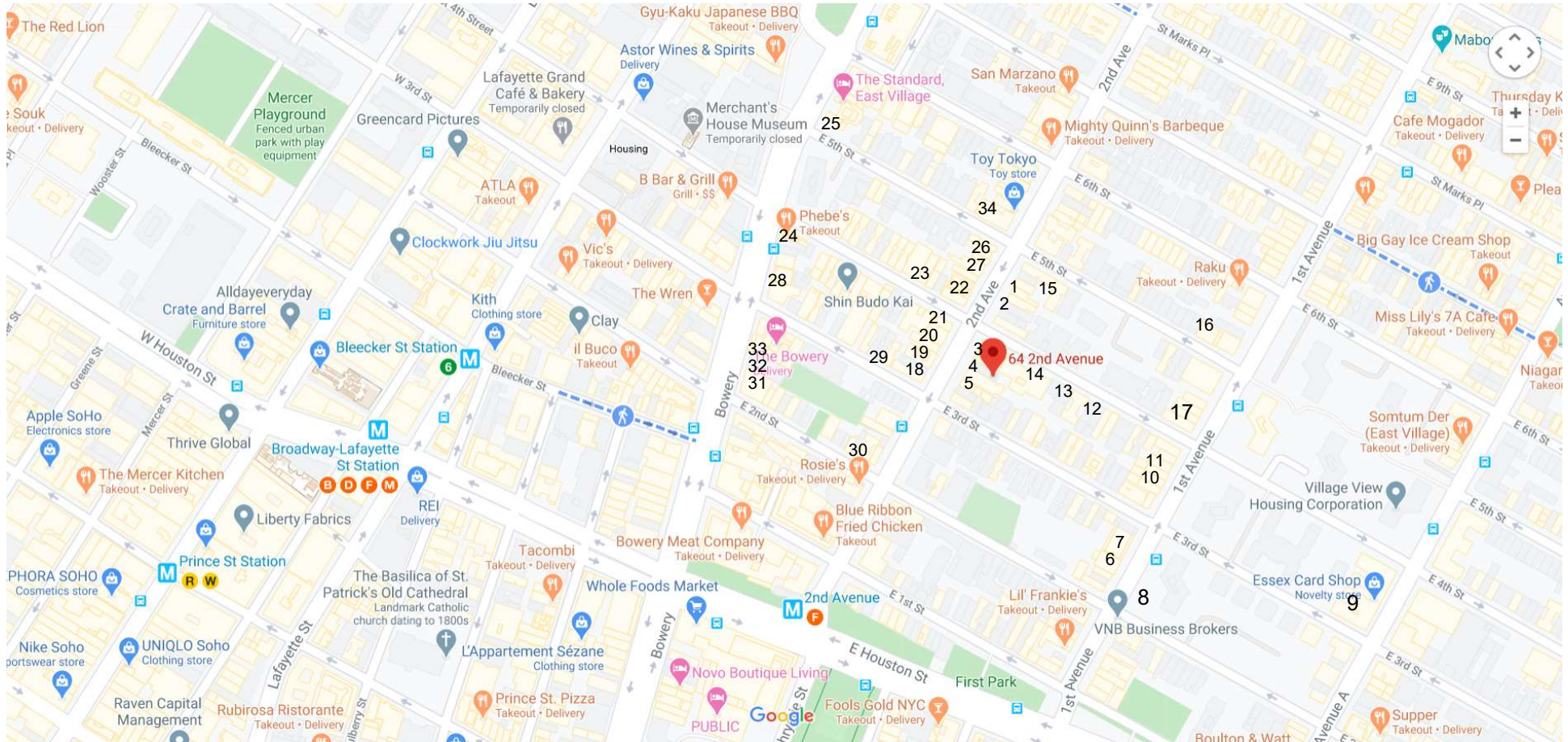
COMMUNITY OUTREACH:

Please see the Community Board website to find block associations or tenant associations in the immediate vicinity of your location for community outreach. Applicants are encouraged to reach out to community groups. ~~Also use provided petitions, which clearly state the name, address, license for which you are applying, and the hours and method of operation of your establishment at the top of each page. (Attach additional sheets of paper as necessary).~~

We are including the following questions to be able to prepare stipulations and have the meeting be faster and more efficient. Please answer per your business plan; do not plan to negotiate at the meeting.

1. I will operate a full-service restaurant, specifically a (type of restaurant) pilot brewery, taproom and kitchen, with a kitchen open and serving food during all hours of operation OR I have less than full-service kitchen but will serve food all hours of operation.
2. I will close any front or rear façade doors and windows at 10:00 P.M. every night or when amplified sound is playing, including but not limited to DJs, live music and live nonmusical performances.
3. I will not have DJs, live music, ^{third-party promoted} ~~promoted~~ events, any event at which a cover fee is charged, scheduled performances, more than 1 DJs / promoted events per week, more than 24 private parties per year. *We would like to have tickted events as indicated above but not cover fees*
4. I will play ambient recorded background music only. *Any DJs brought in will also play pre-recorded music at an ambient background level*
5. I will not apply for an alteration to the method of operation or for any physical alterations of any nature without first coming before CB 3.
6. I will not seek a change in class to a full on-premise liquor license without first obtaining approval from CB 3.
7. I will not participate in pub crawls or have party buses come to my establishment.
8. I will not have a happy hour or drink specials with or without time restrictions OR I will have happy hour and it will end by _____.
exclusive of lines caused by occupancy restrictions due to COVID
9. I will not have wait lines outside. I will have a staff person responsible for ensuring no loitering, noise or crowds outside.
10. Residents may contact the manager/owner at the number below. Any complaints will be addressed immediately. I will revisit the above-stated method of operation if necessary in order to minimize my establishment's impact on my neighbors.

Owner: Damian Brown, 718-402-1000, damian@thebronxbrewery.com



1. Cacio e Vino, 80 2nd Avenue, Restaurant, RW
2. Nomad, 78 2nd Avenue, Restaurant, RW
3. Queen Vic, 68 2nd Avenue, Bar, OP
4. The Black Ant, 60 2nd Avenue, Restaurant, OP
5. DIA, 58 2nd Avenue, Restaurant, RW
6. D.b.a., 41 1st Avenue, Bar, OP
7. Aziza, 45 1st Avenue, Hookah Bar, TW
8. Spiegel, 26 1st Avenue, Bar, RW and OP
9. Bin 141, 43 Avenue A, Restaurant, OP
10. Karma, 51 1st Avenue, Bar, OP
11. Cho Ko Restaurant, 59 1st Avenue, Restaurant, RW?
12. Mono Mono, 116 E. 4th Street, Restaurant, RW (expired)
13. Soogil, 108 E. 4th Street, Restaurant, RW

14. Boiler Room, 86 E. 4th Street, Bar, OP?
15. Risotteria Melotti, 309 E. 5th Street, Restaurant, RW
16. Emmy Squared, 83 1st Avenue, Restaurant, OP
17. Wara, 67 1st Avenue, Restaurant, RW
18. Dim Sum Palace, 59 2nd Avenue, Restaurant, RW?
19. Gary Mare, 61 2nd Avenue, Bar, OP
20. Bar Verde, 65 2nd Avenue, Restaurant, OP
21. Double Zero, 65 2nd Avenue, Restaurant, OP
22. Doko Demo 89 E. 4th Street, Restaurant, RW?
23. Piccola Strada, 77 E. 4th Street, Restaurant, RW?
24. Phebe's Tavern & Grill, 361 Bowery, Restaurant, RL (inactive)
25. The Scratcher, 209 E. 5th Street, Bar, OP?
26. Nai Tapas, 85 2nd Avenue, Restaurant, RW
27. Nostro, 75 2nd Avenue, Restaurant, RW
28. Short Stories, 355 Bowery, Restaurant, OP
29. Whiskey Town, 29 E. 3rd Street, Bar, OP?
30. Rosie's, 29 E. 2nd Avenue, Restaurant, OP?
31. Bar Primi, 325 Bowery, Bar, OP
32. Bowery Electric, 327 Bowery, Venue, OP
33. Bowery Hotel and Gemma, 335 Bowery, Hotel, HL
34. Cooper's Craft & Kitchen, Restaurant, OP

Proximity Report for Location:

September 25, 2020

64 2 Ave, New York, NY, 10003

* This report is for informational purposes only in aid of identifying establishments potentially subject to 500 and 200 foot rules. Distances are approximated using industry standard GIS techniques and do not reflect actual distances between points of entry. The NYS Liquor Authority makes no representation as to the accuracy of the information and disclaims any liability for errors.

Closest Liquor Stores

Name	Address	Approx. Distance
S & P LIQUOR & WINE CORP	89 2ND AVE	395 ft
JCCSM INC	45 1ST AVE	720 ft
MRN LIQUOR INC	16 SAINT MARKS PL	1105 ft
ELIZABETH & VINE INC	269 BOWERY	1200 ft
ASTOR WINES & SPIRITS INC	399 LAFAYETTE STREET	1245 ft
SAKAYA INC	324 E 9TH STREET (WEST STORE)	1340 ft
NIZGA CORP	58 AVENUE A	1430 ft

Churches within 500 Feet

Name	Approx. Distance
Church of the Nativity	445 ft

Schools within 500 Feet

Name	Address	Approx. Distance
PS 751 SCHOOL FOR CAREER DVLPM	113 E 4TH ST	395 ft

On-Premise Licenses within 750 Feet

Name	Address	Approx. Distance
LIGHT SIDE CORP	60 2ND AVE.	65 ft
WATERING HOLE OF 2ND AVE CORP,THE	68 2ND AVENUE	70 ft
MEATH TRAILS INC	61 2ND AVENUE	75 ft
STUDIO CAFFE LLC	CHELSEA PIERS 59 2ND LEVEL	85 ft
CJFM LLC	84 E 4TH ST	150 ft
J B MAX INC	86 E 4TH STREET	240 ft
I LIKE SIT DOWN COMEDY LLC	85 E 4TH ST	255 ft
EAST THIRD RESTAURANT CORP	29 E 3RD ST STORE 2	275 ft
KRAINE INTERNATIONAL INC	85 E 4TH ST	285 ft
KRAINE GALLERY BAR INC	85 E 4TH STREET	290 ft
EAST VILLAGE 4TH STREET CAFE INC	78 80 E 4TH STREET	325 ft
BARE CITY TWO LLC	85 2ND AVE	340 ft
KITCHEN TABLE INC	88B 2ND AVE	355 ft
TRIM CASTLE CORP	87 2ND AVE AKA 239 E 5TH ST	360 ft
88 2ND AVE FOOD CORP	88 2ND AVE	405 ft
DAK 92 SECOND AVE CORP	92 2ND AVENUE	425 ft

Name	Address	Approx. Distance
PAPI LUIS CORP	32 E 2ND STREET	440 ft
LOCAL 92 INC	92 2ND AVE NORTH STORE	460 ft
POINT JUDITH LLC	96 2ND AVENUE	470 ft
575 PUB ON SECOND INC	93 2ND AVE	485 ft
BOONSRI INC	95 2ND AVE	505 ft
SECOND STREET RESTAURANT LLC	29 E 2ND ST	510 ft
EEMT INC	86 E 3RD ST	555 ft
CALEXICO CINCO LLC	99 2ND AVE	555 ft
BRICKLANE CURRY HOUSE INC	306 308 E 6TH ST	580 ft
KO EP LLC	8 EXTRA PL	580 ft
BYTELOGICS INC	304 E 6TH ST	585 ft
FUN HAT LLC	308 E 6TH ST	585 ft
ROSS KELLY INC	237 E 5TH ST	620 ft
355 RESTAURANT GROUP LLC	355 BOWERY	630 ft
BOWERY F & B LLC AND E & S HOTEL OWNERS INC AS MGR	4 E 3RD ST	635 ft
PASTA SHOP LLC	325 BOWERY	635 ft
EAST PUB INC	359 361 BOWERY	640 ft
THE BOWERY HOTEL LLC	335 BOWERY AKA 4 E 3RD ST	645 ft
MACPER LLC	41 1ST AVE	675 ft
BOWERY TECH RESTAURANT LLC	327 BOWERY	680 ft
J & J INTERNATIONAL NEW YORK INC	51 1ST AVENUE	685 ft
FENIX REST INC	1061 63 1ST AVENUE	690 ft
WREN NEW YORK LLC, THE	344 BOWERY	715 ft
KISSAKI OMAKASE LLC	319 BOWERY	715 ft
BOWERY TIME LLC AND AGUILA & SOL LLC AS MANAGER	354 356 BOWERY	730 ft
C & V 77 ENTERPRISES LLC	1475 77 1ST AVENUE	740 ft

Pending Licenses within 750 Feet

Name	Address	Approx. Distance
BRONX BREWERY, LLC THE	64 2ND AVE	0 ft
TED ARTO INC	78 80 E 4TH ST	205 ft
GOLDEN WINGS 786 LLC	77 2ND AVE	255 ft
HORSE TRADE MANAGEMENT GROUP	85 E 4TH ST	285 ft
DP SECOND AVE LLC	100 2ND AVE	545 ft
AMIGO BY NAI LLC	29 2ND AVE	580 ft
AMIRA'S DELI INC	39 1ST AVENUE	740 ft
BOWERY SUSHI LLC	342 BOWERY	750 ft

Unmapped licenses within zipcode of report location

Name	Address
------	---------

BRONX BREWERY

INTERIOR BUILD-OUT

64 2 AVENUE, MANHATTAN, NY 10003
BUSINESS (GROUP E) / ASSEMBLY (F-4)

PROJECT INFORMATION

APPLICABLE CODES:	1. 1968 NEW YORK CITY BUILDING CODE 2. 2014 NYC PLUMBING CODE 3. 2014 NYC MECHANICAL CODE 4. THE NEW YORK CITY 2011 ELECTRICAL CODE 5. 2014 NYC FIRE CODE 6. 2020 NEW YORK CITY ENERGY EFFICIENCY CODE
-------------------	---

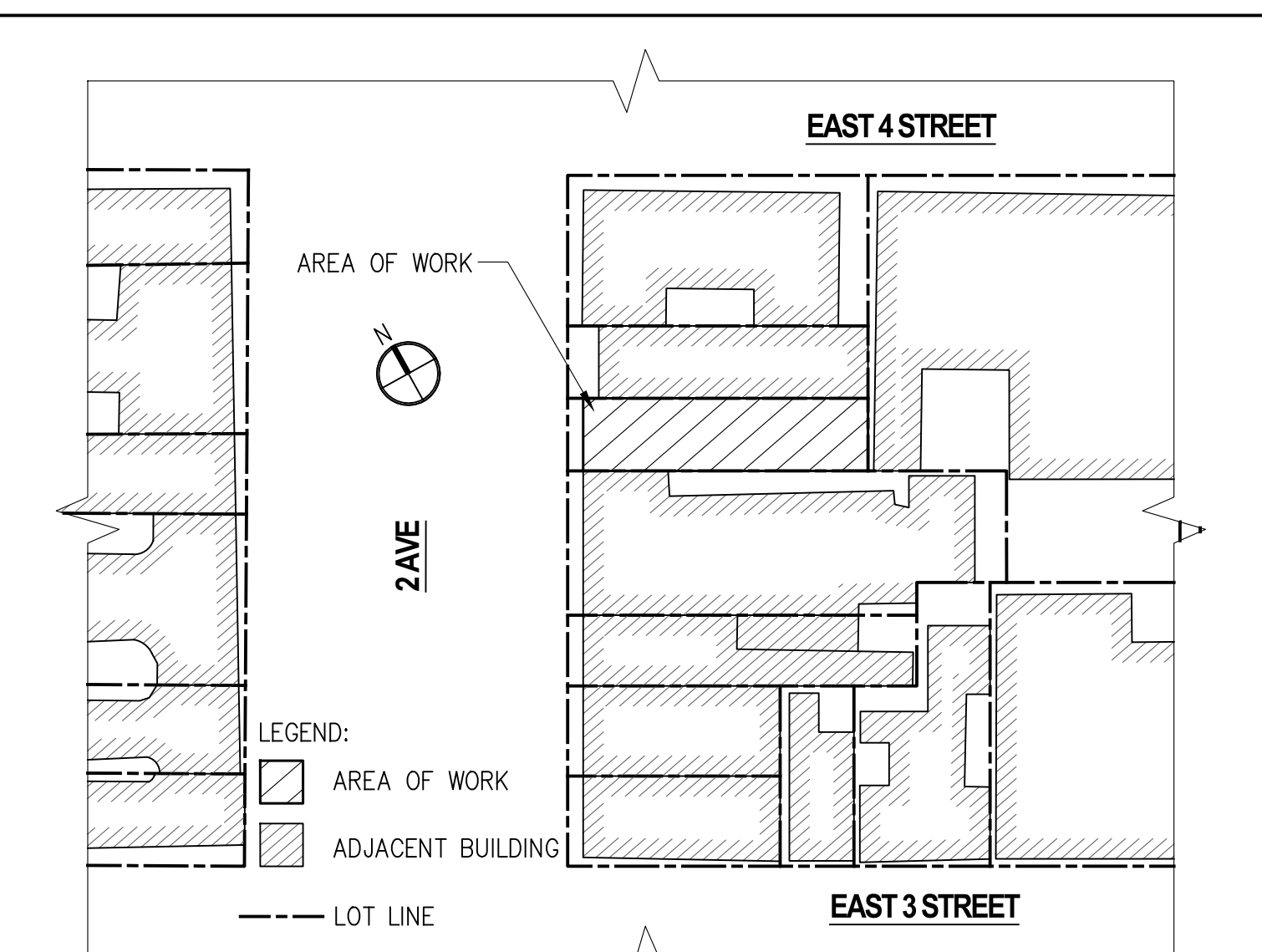
SCOPE OF WORK:	1. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, WITH ALL NEW MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATERIALS AND EQUIPMENT STORED ON SITE. 2. THE SCOPE OF WORK SHALL INCLUDE THE PERFORMANCE OF ALL THE WORK NECESSARY TO COMPLETE THE ALTERATION SHOWN ON THE CONTRACT DRAWING AND SPECIFICATIONS NOT NECESSARILY LIMITED TO THE FOLLOWING: A. NO CHANGE IN EGRESS, USE OR OCCUPANCY. B. INTERIOR RENOVATION OF COMMERCIAL SPACE. C. INTERIOR FIT-OUT FOR EATING AND DRINKING ESTABLISHMENT. D. CREATE ACCESSORY SPACE IN EXISTING CELLAR FOR 1ST FLOOR USE.
----------------	--

JOB-FILING:	ALT-2
BLOCK:	445
LOT:	6
ZONING:	R7A / C2-5
MAP:	12C
OCCUPANCY GROUP:	COM (OLD CODE) (F-4)
CONSTRUCTION CLASS:	3-NFP (1968 CODE)
WORK AREA:	001, CEL

OCCUPANCY LOAD*: BUSINESS (100 SF PER PERSON) AS PER TABLE 6-2	MAXIMUM OCC. LOAD: 357 P ACTUAL OCC. LOAD: 74 P
EXIT ACCESS TRAVEL DISTANCE*: *OCCUPANCY B: 150 FT WITHOUT SPRINKLER, 200 FT WITH SPRINKLER AS PER TABLE 6-1 (NYC 1968 BC)	150 FT (NO SPRINKLER SYSTEM)

REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ELEMENTS IN HOURS AS PER TABLE 3-4 (NYC 1968 BC)	TYPE II-B (SEE TABLE ON T-101)
PRIMARY STRUCTURAL FRAME	2 HR
BEARING WALLS - EXTERIOR / INTERIOR	2 HR / 1 HR
NONBEARING WALLS AND PARTITIONS - EXTERIOR	SEE TABLE 3-4
NONBEARING WALLS AND PARTITIONS - INTERIOR	0 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	1 HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	3/4
FIRE SEPARATION OF OCCUPANCIES (OCC. GROUP F)	2
SHAFTS - LESS THAN 4 STORIES (TABLE 3-4)	2
SHAFTS - 4 STORIES OR MORE (TABLE 3-4)	2
AUTOMATIC SPRINKLER SYSTEM	N/A
FIRE ALARM & AUTOMATIC FIRE DETECTION SYSTEMS	N/A

PLOT PLAN



PROJECT DIRECTORY

ARCHITECT:	CLIENT:
LENART ARCHITECTURE 307 7TH AVENUE, SUITE 1803 NEW YORK, NY 10001 TEL: 212-803-3356	THE BRONX BREWERY LLC 856 E 136TH STREET BRONX, NY 10454 TEL: 718-402-1000
	GENERAL CONTRACTOR: T.B.D.

INSPECTIONS:

TR-1 SPECIAL INSPECTION ITEMS: (█ INDICATES REPORT REQUIRED) 1. FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27	PROGRESS INSPECTION ITEMS: (█ INDICATES REPORT REQUIRED) 1. PRELIMINARY 28-116.2.1, BC 110.2 2. ENERGY CODE COMPLIANCE INSPECTIONS █ TR8 BC 110.3.5 3. FINAL* 28-116.2.4.2, BC 110.5, DIRECTIVE 14 OF 1975, AND 1 RCNY §101-10
TR-8 PROGRESS INSPECTION ITEMS: 4. ELECTRICAL ENERGY CONSUMPTION (IC1) 5. INTERIOR LIGHTING POWER (IC3) 6. LIGHTING CONTROLS (IC5)	

110.1 GENERAL. EXCEPT AS OTHERWISE SPECIFIED, INSPECTIONS REQUIRED BY THIS CODE OR BY THE DEPARTMENT DURING THE PROGRESS OF WORK MAY BE PERFORMED ON BEHALF OF THE OWNER BY APPROVED AGENCIES OR, IF APPLICABLE, BY SPECIAL INSPECTORS. HOWEVER, IN THE INTEREST OF PUBLIC SAFETY, THE COMMISSIONER MAY DIRECT THAT ANY OF SUCH INSPECTIONS BE PERFORMED BY THE DEPARTMENT. ALL INSPECTIONS SHALL BE PERFORMED AT THE SOLE COST AND EXPENSE OF THE OWNER. REFER TO ARTICLE 116 OF CHAPTER 1 OF TITLE 28 OF THE ADMINISTRATIVE CODE FOR ADDITIONAL PROVISIONS RELATING TO INSPECTIONS.

110.2 PRELIMINARY INSPECTION. REFER TO CHAPTER 1 OF TITLE 28 OF THE ADMINISTRATIVE CODE.

110.3 REQUIRED PROGRESS INSPECTIONS. THE INSPECTIONS SET FORTH IN SECTIONS 110.3.1 THROUGH 110.3.8 SHALL BE MADE DURING THE PROGRESS OF WORK TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE CODE AND WITH APPROVED CONSTRUCTION DOCUMENTS.

110.3.4 FIRE-RESISTANCE-RATED CONSTRUCTION INSPECTION. FIRE-RESISTANCE-RATED CONSTRUCTION SHALL BE INSPECTED TO DETERMINE COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, INCLUDING INSPECTION OF THE FOLLOWING WORK:
1. FIRE-RESISTANCE-RATED PARTITIONS, FLOORS, CEILINGS, SHAFTS; AND
2. FIRE SHUTTERS.

EXCEPTION: WHERE THE SCOPE OF WORK AFFECTING AN EXISTING FIRE-RATED WALL ASSEMBLY IS LIMITED TO THROUGH PENETRATION FIRESTOPPING AND, IN THE COURSE OF WORK, THE CUTTING AWAY OR REMOVAL OF ANY PART OF THE EXISTING FIRE-RESISTANCE-RATED CONSTRUCTION BECOMES NECESSARY IN THE GENERAL AREA SURROUNDING THE PENETRATION, NOT TO EXCEED 4 SQUARE FEET (0.37 M2) IN ANY GIVEN AREA, THE PROGRESS INSPECTION FOR FIRE-RESISTANCE-RATED CONSTRUCTION SHALL NOT BE REQUIRED PROVIDED THAT THE SPECIAL INSPECTION AGENCY FOR THE THROUGH-PENETRATION FIRESTOPPING SPECIAL INSPECTION VERIFIES THAT THE REMOVED PORTION OF FIRE-RESISTANCE-RATED CONSTRUCTION (I) IS LESS THAN 4 SQUARE FEET (0.37 M2), AND (II) HAS BEEN RESTORED TO ITS ORIGINAL CONDITION.

110.4 SPECIAL INSPECTIONS. SPECIAL INSPECTIONS REQUIRED BY THIS CODE OR BY THE COMMISSIONER SHALL BE PERFORMED BY SPECIAL INSPECTION AGENCIES.

110.9 SATISFACTORY INSPECTION REPORT REQUIRED. PORTIONS OF WORK REQUIRING INSPECTION MAY BE SEQUENCED OR PHASED TO ALLOW CONTINUING PROGRESS OF THAT WORK PROVIDED THAT WORK SHALL NOT BE DONE BEYOND THE POINT INDICATED IN EACH SUCCESSIVE REQUIRED INSPECTION FOR THAT PHASE. THE INSPECTOR SHALL EITHER INDICATE THE PORTION OF THE CONSTRUCTION THAT IS SATISFACTORY AS COMPLETED, OR NOTIFY THE PERMIT HOLDER OR THE SUPERINTENDENT OF CONSTRUCTION WHEREIN THE SAME FAILS TO COMPLY WITH THIS CODE. ANY PORTIONS THAT DO NOT COMPLY SHALL BE CORRECTED AND SUCH PORTION SHALL NOT BE COVERED OR CONCEALED UNTIL CORRECTED. THE PERSON PERFORMING THE INSPECTION SHALL COMPLETE A REPORT OF SATISFACTORY INSPECTION. REFER TO CHAPTER 1 OF TITLE 28 OF THE ADMINISTRATIVE CODE.
NOTE:
G.C. TO NOTIFY INSPECTOR FOR TR INSPECTIONS

DEFINITIONS:

- "BUILDING OWNER" REFERS TO "64 2ND AVENUE OWNER LLC" OR THEIR LOCAL AUTHORIZED REPRESENTATIVE.
- "CONTRACTOR" REFERS TO THE GENERAL CONTRACTOR RETAINED BY THE TENANT TO CONSTRUCT THE WORK REPRESENTED IN THE DRAWINGS.
- "LOCAL CODE" SHALL MEAN ALL CODES AND ORDINANCES GOVERNING THE WORK DONE IN MANHATTAN, NEW YORK. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NYC BUILDING CODE AND ANY OTHER GOVERNING CODES AND ORDINANCES. ANY CONFLICT WITH LOCAL CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

NYC BUILDING DEPT. NOTES.

- THIS WORK IS FILED FOR ALT-2.
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE EFFECTIVE DECEMBER 6, 1968 AS AMENDED AND ALL OTHER APPLICABLE LAWS.
- THE PROVISION OF SUBCHAPTER 19 OR THE NEW YORK CITY BUILDING CODE SHALL GOVERN THE CONDUCT OF ALL CONSTRUCTION AND DEMOLITION OPERATIONS WITH REGARD TO THE SAFETY OF THE PUBLIC AND PROPERTY.
- ALL CORE WALLS ARE EXISTING AND RATED TWO (2) HOUR FARE RATED (MINIMUM) AND ALL OPENINGS THEREIN ARE PROTECTED WITH EXISTING 3/4 HOUR OR 1 1/2 HOUR F.P.S.C. DOORS AS REQUIRED.
- THE ENTIRE FLOOR AREA SHALL BE MECHANICALLY VENTILATED AS PER SECTION 27-776 AND SUBCHAPTER 12 ARTICLE 7 AND 8 OF THE BUILDING CODE.
- ALL WOOD USED SHALL BE FIRE RETARDANT TREATED WOOD AS PER SECTION 27-350 AND RS5-3, RS5-4, AND RS5-5 OF THE BUILDING CODE.
- NEW SUSPENDED CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 27-350 AND RS5-16 OF THE BUILDING CODE.
- ALL WORK SHALL COMPLY WITH BC 27-521.12
- ILLUMINATED EXIT SIGNS AND DIRECTIONAL SIGNS SHALL COMPLY WITH CHAPTER 1 SUBCHAPTER 6 ARTICLE 7 AND 8.
- NO WORK AT SITE COMMENCE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY THE DEPARTMENT OF BUILDINGS.

GENERAL NOTES AND CONDITIONS:

- THIS APPLICATION IS FOR INTERIOR RENOVATION UNDER ALT-2.
- CONTRACTOR TO CHECK AND VERIFY ALL MEASUREMENTS AND DIMENSIONS AND ACTUAL CONDITIONS AT SITE AND BE HELD RESPONSIBLE FOR SAME. CONTRACTOR TO OBTAIN ALL PERMITS AND FEES TO START AND COMPLETE ALTERATION. UPON COMPLETION OF JOB CONTRACTOR IS TO SUPPLY OWNER WITH AN AMENDED CERTIFICATE OF OCCUPANCY, IF NEEDED.
- A STATEMENT SHALL BE FILED BY THE CONTRACTOR THAT THE SYSTEMS DURING THE VENTILATION WILL BE KEPT IN CONTINUOUS OPERATIONAL AT ALL TIMES DURING THE NORMAL OCCUPANCY OF THE STRUCTURE AS PROVIDED IN THE APPLICATION LAW-FILED BY THE LICENSED ARCHITECT OR OTHER QUALIFIED PERSON WHO CONDUCTED THE TEST OF THE SYSTEM AND NOT UNTIL THE STATEMENT OF THE OWNER IS FILED.
- ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 26, ARTICLE 16 AND REFERENCE STANDARD RS-16 OF THE NYC BUILDING CODE.
- ALL WATER SUPPLIES SHALL BE OVER THE RIM OR SHALL BE PROVIDED WITH AN APPROVED VACUUM BARKER FOR WATER CLOSET FLUSH VALVES, HOSE BIBS, ETC.
- ALL NOTES, DIMENSIONS, DETAILS, AND JOB CONDITIONS ARE TO BE CHECKED AND VERIFIED. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND HE SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY THE NEW YORK CITY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
- EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HIS WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ALL THE SITE AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES.
- ALL MATERIALS, ASSEMBLIES AND METHODS OF CONSTRUCTION NOT LISTED AS CONTROLLED INSPECTIONS SHALL BE SUBJECT TO SEMI-CONTROLLED INSPECTIONS BY THE PERSON SUPERSEDING THE CONSTRUCTION. SIGNED COPIES OF ALL TEST AND INSPECTION REPORTS SHALL BE FILED THROUGH THE ARCHITECT WITH THE DEPARTMENT.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF ARTICLE 19. SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF THE WORK.
- CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, BARRICADES TEMPORARY FENCES PARTITIONS, AND EXCAVATIONS, ETC. TO COMPLETE ALL OF THE WORK IN THE APPROVED MANNER, AS PER SECTION C26-1980.2
- NO DRAWINGS ARE TO BE SCALED. DIMENSIONS ARE TO BE USED.
- THE CONTRACTOR OR PERSON WHO SUPERVISED THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE NEW YORK CITY BUILDING CODE.
- ALL ELECTRICAL WORK COMPLY WITH THE N.Y.C.B.C.
- THE CONTRACTOR SHALL UPON COMPLETION OF THE WORK SEE THAT THE JOB IS BROOM SWEEP.
- THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
- THE CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PREVENT DUST BECOMING A NUISANCE TO THE PUBLIC, TO NEIGHBORS, ETC AND SHALL KEEP THE PREMISES BROOM CLEAN AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. UPON COMPLETION, CONTRACTOR SHALL THOROUGHLY CLEAN ALL AREAS AND SURFACES INCLUDING WINDOW GLASS, WALL FINISHES FOOD SERVICE EQUIPMENT, FURNISHING, ETC.
- THE OWNER SHALL HAVE THE RIGHT TO ALTER THE WORK BY ADDING OR DEDUCTING WORK FROM THE SCOPE OF THE CONTRACT WITHOUT INVALIDATING THE CONTRACT. THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY. THE OWNER RESERVES THE RIGHT TO CONTRACT DIRECTLY AND INDEPENDENTLY OF THE CONTRACTOR FOR INSTALLATION OF ANY ITEMS AND THE CONTRACTOR SHALL COOPERATE AND GIVE ANY ASSISTANCE NECESSARY TO THE OWNER'S INDEPENDENT CONTRACTOR OR SUPPLIERS
- ALL WOOD BLOCKING TO BE FIRE RETARDANT.

CONSTRUCTION NOTES:

- KEEP STREET AND SIDEWALKS AROUND THE EXTERIOR OF THE PROJECT FREE FROM RUBBISH DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ALL RUBBISH FROM THE SITE AND DISPOSE OF GENERAL CONSTRUCTION WASTE INCLUDING PACKING MATERIAL ETC. GENERATED BY ALL TRADES ACCORDING TO LOCAL AGENCIES HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN AND KEEP CURRENT A COMPLETE SET OF CONTRACT DOCUMENTS ON THE PREMISES DURING THE COURSE OF CONSTRUCTION.
- CONTRACTOR SHALL NOT PERFORM ANY WORK THAT REQUIRES SHOP DRAWING APPROVAL BEFORE RECEIPT OF SUCH APPROVAL FROM THE ARCHITECT. NOR SHALL ANY MATERIAL REQUIRING SUBMITTAL APPROVAL BE PURCHASED BEFORE SUCH APPROVAL.
- MATERIALS:
A-ALL WOOD FRAMING, BLOCKING, SHEATHING, ETC. TO BE CERTIFIED PRESSURE TREATED FIRE RETARDANT IF REQUIRED BY LOCAL AUTHORITY.
B-ALL MATERIALS MANUFACTURED ARTICLES AND EQUIPMENT SPECIFIED ON THE PLANS SHALL BE INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS UNLESS MORE RESTRICTIVE CONDITIONS BY LOCAL LAWS PREVAIL.
C-ALL INTERIOR FINISHES TO HAVE FLAME SPREAD RATING AS REQUIRED BY PREVAILING CODE REQUIREMENTS.
D-CEILING MATERIALS SHALL BE NON COMBUSTIBLE WITH RATED HARDWARE FOR THE SUSPENSION SYSTEM.
E-ALL DRYWALL MATERIALS SHALL BE 5/8" TYPE-X MATERIAL TAPED AND SPACKLED WITH MINIMUM 3 COATS WHEN INTENDED FOR PAINT FINISH.

TENANT SAFETY NOTE (2014):

- THE AGENT OF OWNER FOR THE REFERENCED PREMISES, HEREBY STATES THAT THEY WILL MAINTAIN ALL SERVICES TO THE REFERENCED BUILDING.
- DURING THE CONSTRUCTION SPECIFIED IN THE REFERENCED ALTERATION OR BUILDING NOTICE, ALL MEANS OF EGRESS FROM THE BUILDING WILL BE FREE OF ANY OBSTRUCTION SUCH AS BUILDING MATERIAL, DEBRIS, ETC.
- ALL ENTRANCE DOORS AND LIGHTS IN PUBLIC HALLWAYS WILL BE KEPT IN WORKING ORDER TO ENSURE PROPER EGRESS IN CASE OF AN EMERGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FIRE SAFETY TO THE TENANTS IN ACCORDANCE WITH THE FIRE DEPARTMENT AND THE BUILDING DEPARTMENT.
- IF THERE ARE TO BE ANY STRUCTURAL CHANGES REQUIRED DURING THIS ALTERATION OR BUILDING NOTICE, A WRITTEN NOTIFICATION WILL BE SENT TO THE ARCHITECT TO EXAMINE FOR ANY RISK OF ACCIDENTS WHICH MAY OCCUR DURING CONSTRUCTION.
- ALL DEBRIS WILL BE DISPOSED OF IN A LEGAL AND PROPER MANNER, NO DEBRIS WILL BE LEFT IN THE PUBLIC HALLWAYS. DUST SHALL BE CONTROLLED WITH THE USE OF DROP CLOTHS
- CONSTRUCTION HOURS WILL BE DURING NORMAL BUSINESS HOURS. THERE WILL BE NO CONSTRUCTION WORK DURING THE EVENING HOURS.
- IF ANY SERVICES SUCH AS HOT WATER OR COLD WATER BE SHUT OFF FOR A PERIOD OF TIME, IT IS THE OWNER'S RESPONSIBILITY TO NOTIFY THE TENANTS OF SUCH WORK IN ADVANCE.
- ASSUME ALL DWELLING UNITS WILL BE OCCUPIED.

INDEX OF DRAWING

ARCHITECTURE			INITIAL FILING 04-29-2020	VAL. ENG. 05-29-2020
01	T-100	PLOT PLAN, GENERAL NOTE, INDEX OF DRAWING	●	●
02	T-101	CONSTRUCTION CLASS, GEN. NOTES, NYC ECC	●	
03	G-100	ADA NOTES, TOILET TEMPLATES.	●	
04	A-100	CONSTRUCTION PLANS, NOTES.	●	●
05	A-101	CONSTRUCTION PLANS, NOTES	●	●
06	A-102	PARTITION TYPES, HANDRAIL DETAIL, DOOR SCHEDULE	●	
07	A-103	STAIRS PLANS, SECTIONS, AND DETAILS	●	●
08	A-300	REFLECTED CEILING PLAN, LEGEND, LIGHTING FIXTURE SCHEDULE	●	
09	EN-001	NYC ECC	●	●

NOTE:
WORK FILED UNDER SEPARATE APPLICATIONS:
- MECHANICAL
- PLUMBING
- STRUCTURAL

ARCHITECT OF RECORD:

307 SEVENTH AVE, SUITE 1803
NEW YORK, NEW YORK, 10001
TEL +1-212-803-3356

BRONX BREWERY
64 2 AVE, NY, NY 10003

THE BRONX BREWERY LLC
856 E 136TH STREET
BRONX, NY 10454

The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.

The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.

The firm of William Lenart, Architect, P.L.L.C. does not make recommendations related to asbestos in any form; asbestos exposure assessment, approval, asbestos health hazards or exposure, corrective action programs, or asbestos containment or removal programs.

Attention to this document not conforming to Article 167, Section 2307, Article 25-B of the New York Education Law are prohibited. It is a violation of law for any person, unless they are acting under the direction of a licensed professional architect, to alter or tamper in any way on this drawing, specification or report (document). If a document bearing the seal of an architect is altered, the altering architect shall file with the document the seal and the notification "Altered by" followed by their signature and the date of such alteration and a specific description of the alteration.

THESE PLANS ARE FILED SOLELY FOR ALT 2 PERMISSIVE ALTERNATIVE CONSTRUCTION APPLICATION DATED (INSERT DATE). TO ESTABLISH THE USE, ACCORDANCE WITH AND EGRESS TO THE PREMISES AND THE WORK AS INDICATED ON THE APPLICATION AND PLANS, ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES. ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY FOR ANY WORK DEVIATED FROM APPROVED AND APPLICABLE CODES. ARCHITECT OF RECORD AND MEPS ARE FILED UNDER SEPARATE APPLICATIONS AND PLANS.

All legal rights including but not limited to, copyright and design patent rights in the design, preparation and drawings shown on this document are the property of William Lenart, Architect, P.L.L.C. and may be developed solely for use of this project. They may not be used or re used in whole or in part, except in connection with the project without the prior written consent of William Lenart, Architect, P.L.L.C. Within dimension on these drawings shall have precedence over un-detailed dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the project, and William Lenart, Architect, P.L.L.C. shall be notified of any variations from the dimensions and conditions shown by these.

DOCUMENTS ONLY VALID WHEN SIGNED AND SEALED

DATE	NO.	REMARKS

REVISIONS
PLOT PLAN, GENERAL NOTES, INDEX OF DRAWING

SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
DATE: _____
PROJECT NO.: 20-020
SHEET NUMBER: _____

T-100.00

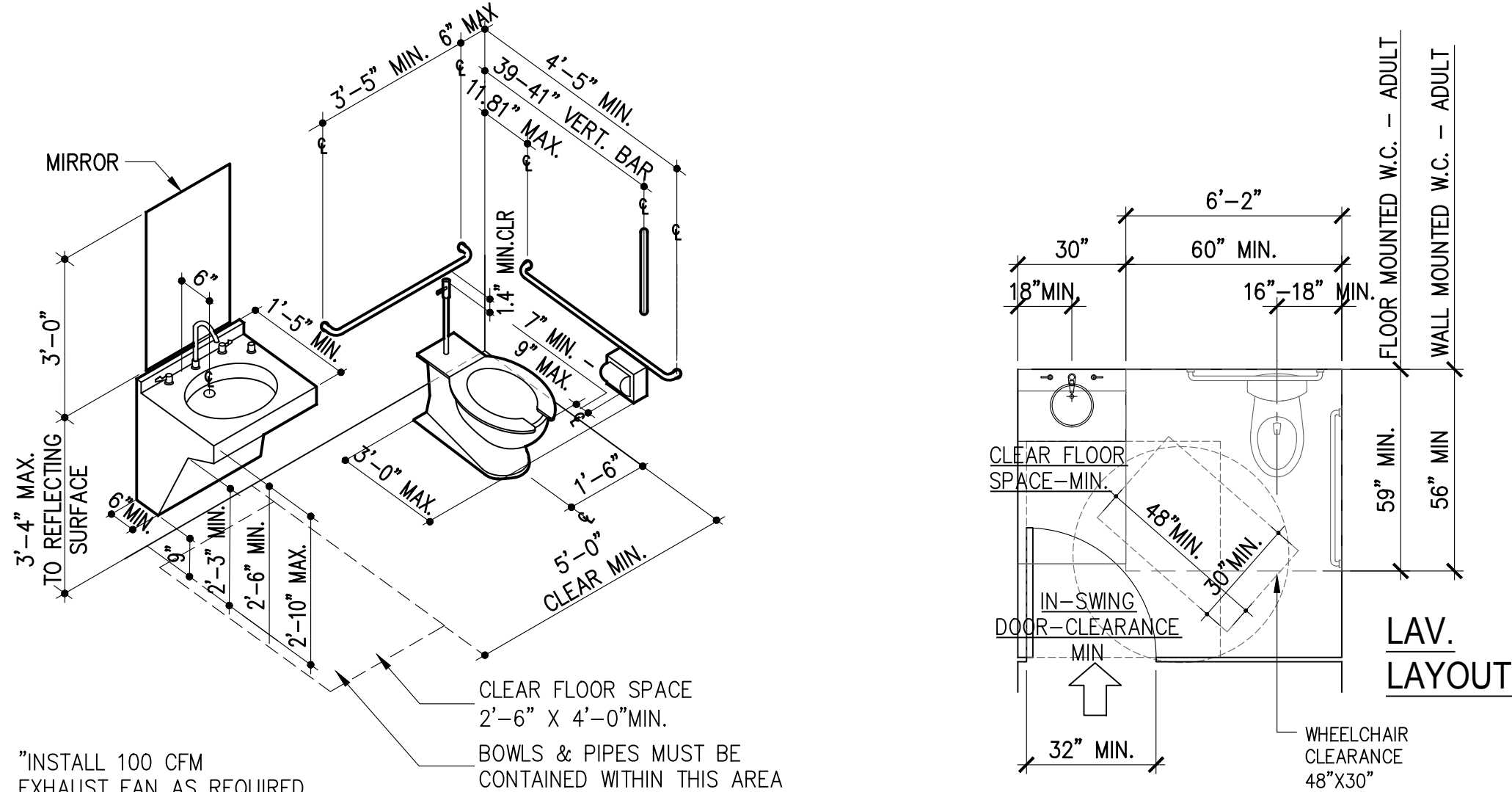
NYC DOB BIS NO. _____ SHEET 01 OF 09

© William Lenart Architecture P.L.L.C. 2020 all rights reserved

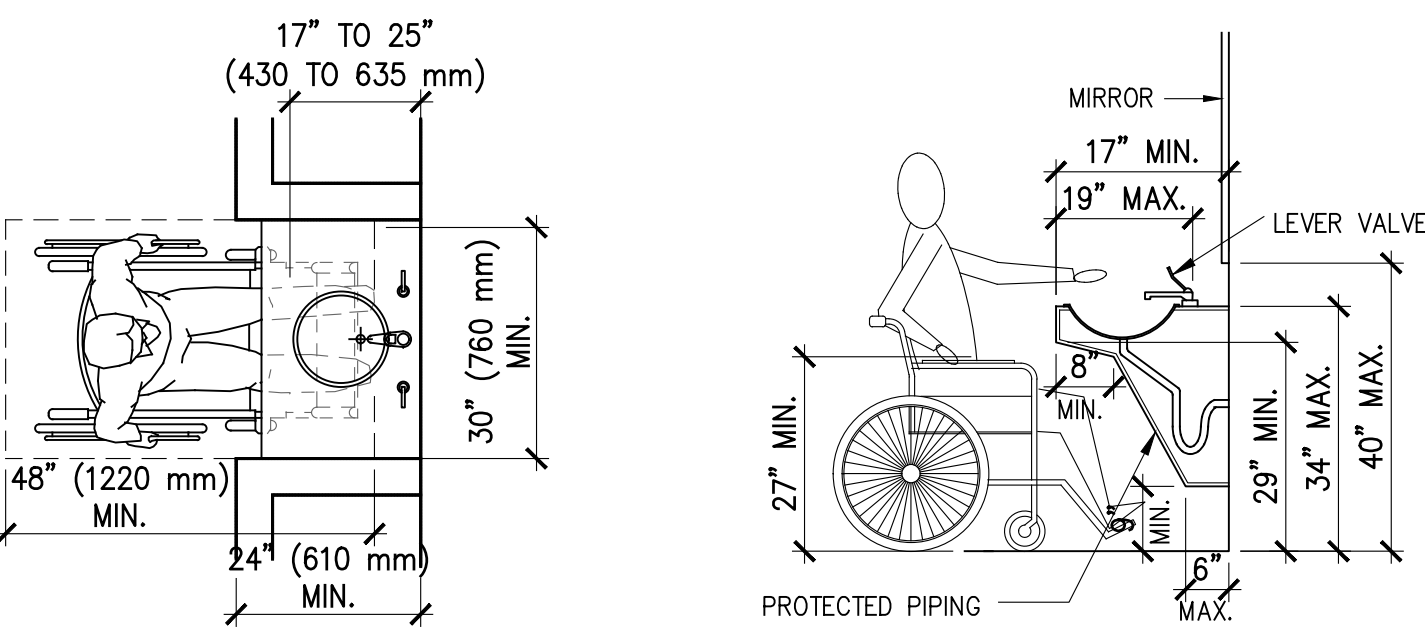
ADA NOTES

- BUILDINGS AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH BC CHAPTER 11 ACCESSIBILITY AND APPENDICES E, N & P, AND ICC/ANSI A117.1.(ACCESSIBLE AND USABLE BUILDING FACILITIES)
- AN ACCESSIBLE ROUTE SHALL BE PROVIDED TO EACH PORTION OF THE BUILDING, TO ACCESSIBLE BUILDING ENTRANCES CONNECTING ACCESSIBLE PEDESTRIAN WALKWAYS AND THE PUBLIC WAY, AND OTHERWISE COMPLY WITH CHAPTER 4, ACCESSIBLE ROUTES, OF THE ICC/ANSI A117.1.
- ACCESSIBLE MEANS OF EGRESS TO BE PROVIDED AS PER 2015 IBC AND ICC/ANSI A117.1.
- ALL UNITS SERVED BY AN ELEVATOR IN OCCUPANCY R-2 SHALL BE TYPE B UNITS WITH THE ADDITIONAL REQUIREMENTS OF TYPE B UNITS IN R-2 OCCUPANCY PER SECTION BC 1107.2. ALL TYPE B UNIT TOILET AND BATHING FACILITIES IN GROUP R-2 MUST COMPLY WITH APPENDIX P OR TYPE A TOILET AND BATHING FACILITIES (BC 1107.2.2). DWELLING UNITS SHALL BE EQUIPPED WITH DOOR WIDTHS AND CLEAR FLOOR SPACES FOR POSSIBLE OCCUPANTS WITH PHYSICAL DISABILITIES. TYPE B UNITS FOR R-2 OCCUPANCY SHALL INCLUDE ADAPTABLE FEATURES AND ABIDE BY REQUIREMENTS SET FORTH FOR ALL APPLICABLE SPACES IN SECTION BC 1107.
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR SHALL BE 5 SECONDS MINIMUM.
- OPERABLE PARTS SHALL BE PLACED WITHIN ONE OR MORE OF THE REACH RANGES SPECIFIED IN SECTION 308 OF THE ICC A117.1. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST AND THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAXIMUM AS PER SECTION 309 OF THE ICC A117.1.
- BLOCKING FOR THE FUTURE INSTALLATION OF GRAB BARS TO BE PROVIDED IN ALL ACCESSIBLE BATHROOMS AS DESCRIBED IN SECTION 604 OF ICC A117.7. GRAB BARS, SHOWER SEATS, AND DRESSING ROOM BENCH SEATS SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF 2014 NEW YORK CITY BUILDING CODE SECTION BC 1607.7.2.
- INTERIOR ACCESS, FLOOR SURFACES, ADAPTABLE KITCHENS, ADAPTABLE KITCHENETTES AND ADAPTABLE BATHROOMS SHALL BE AS PER ICC A117.1.

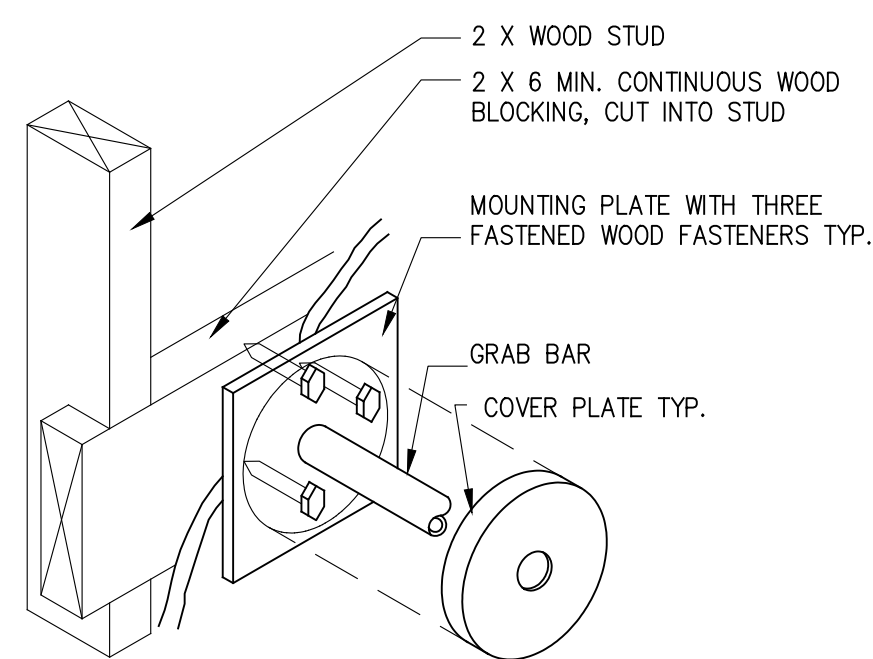
TYP.HANDICAPPED CLEARANCE DETAILS



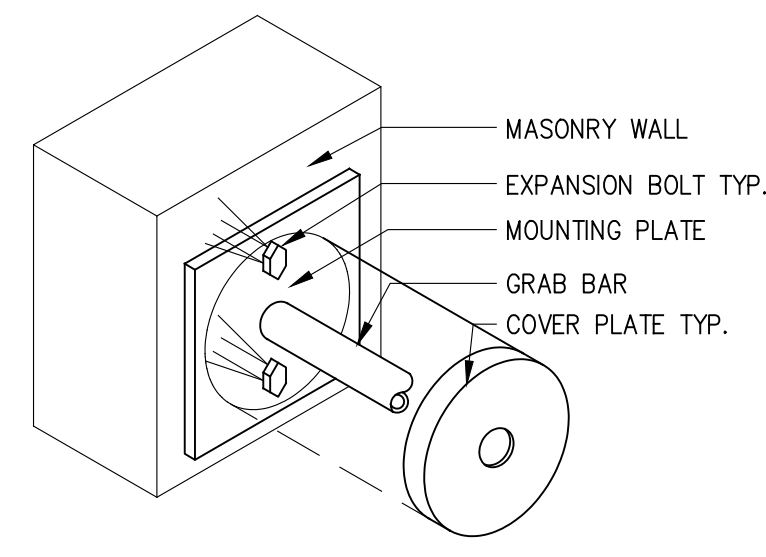
"INSTALL 100 CFM EXHAUST FAN AS REQUIRED SEE MECHANICAL PLAN"



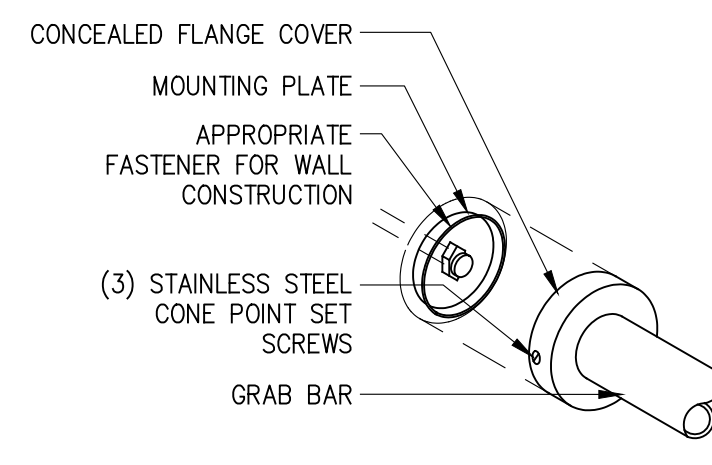
TYP BLOCKING DETAILS



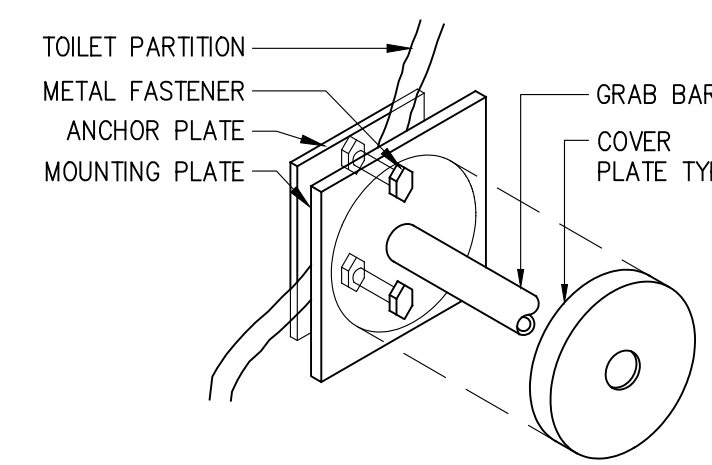
WOOD CONSTRUCTION



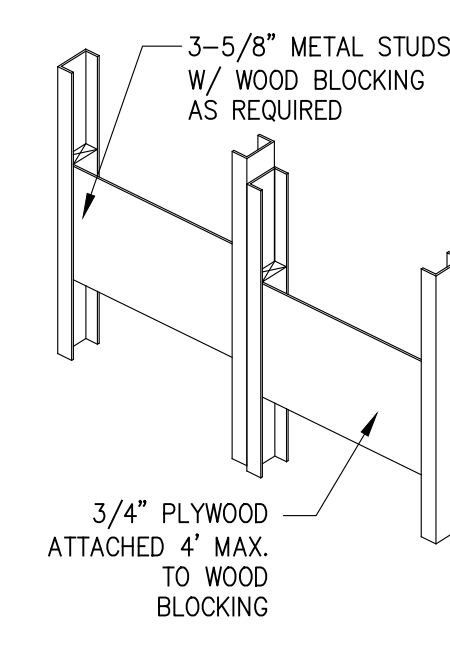
MASONRY WALL



CONCEALED FLANGE



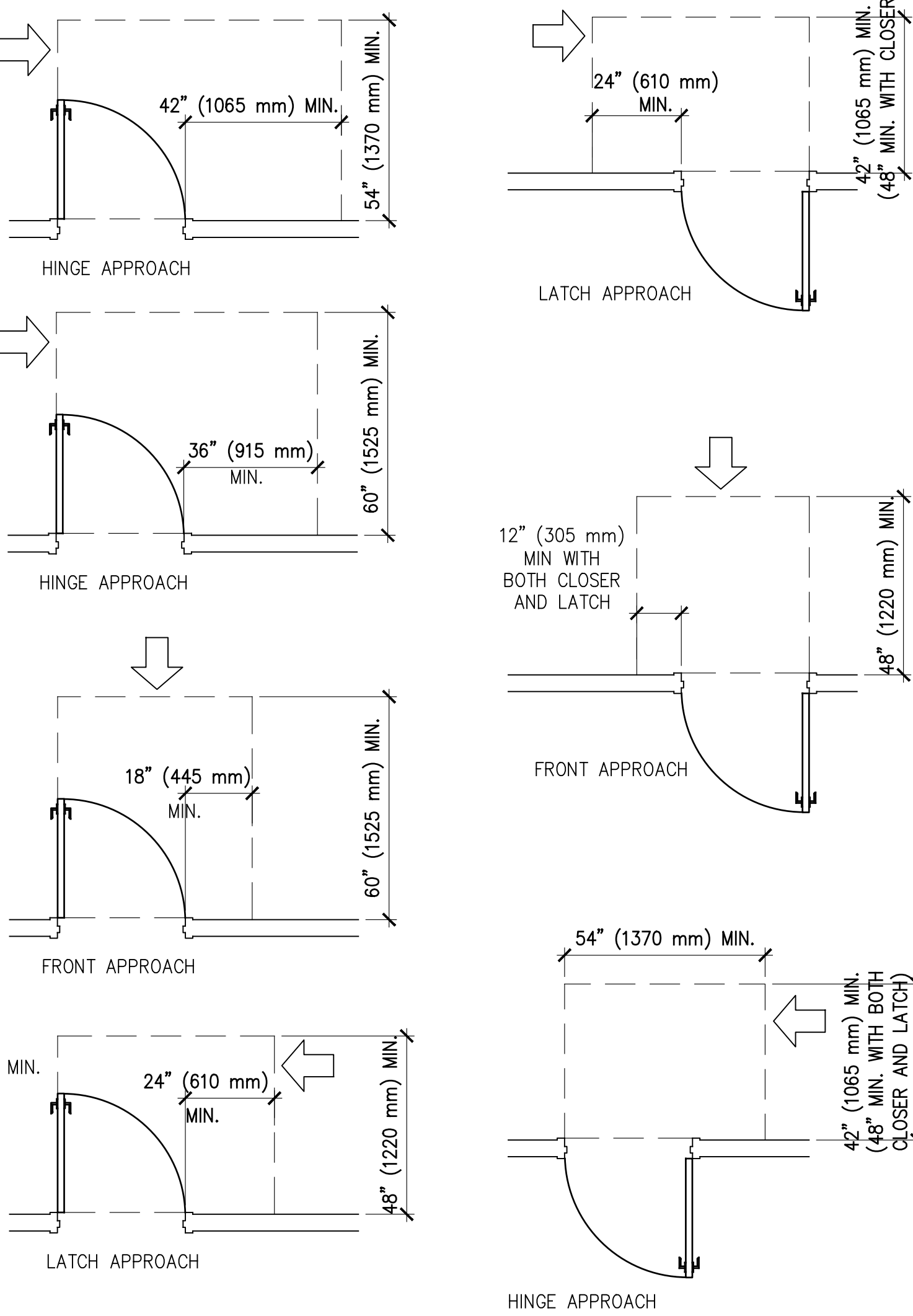
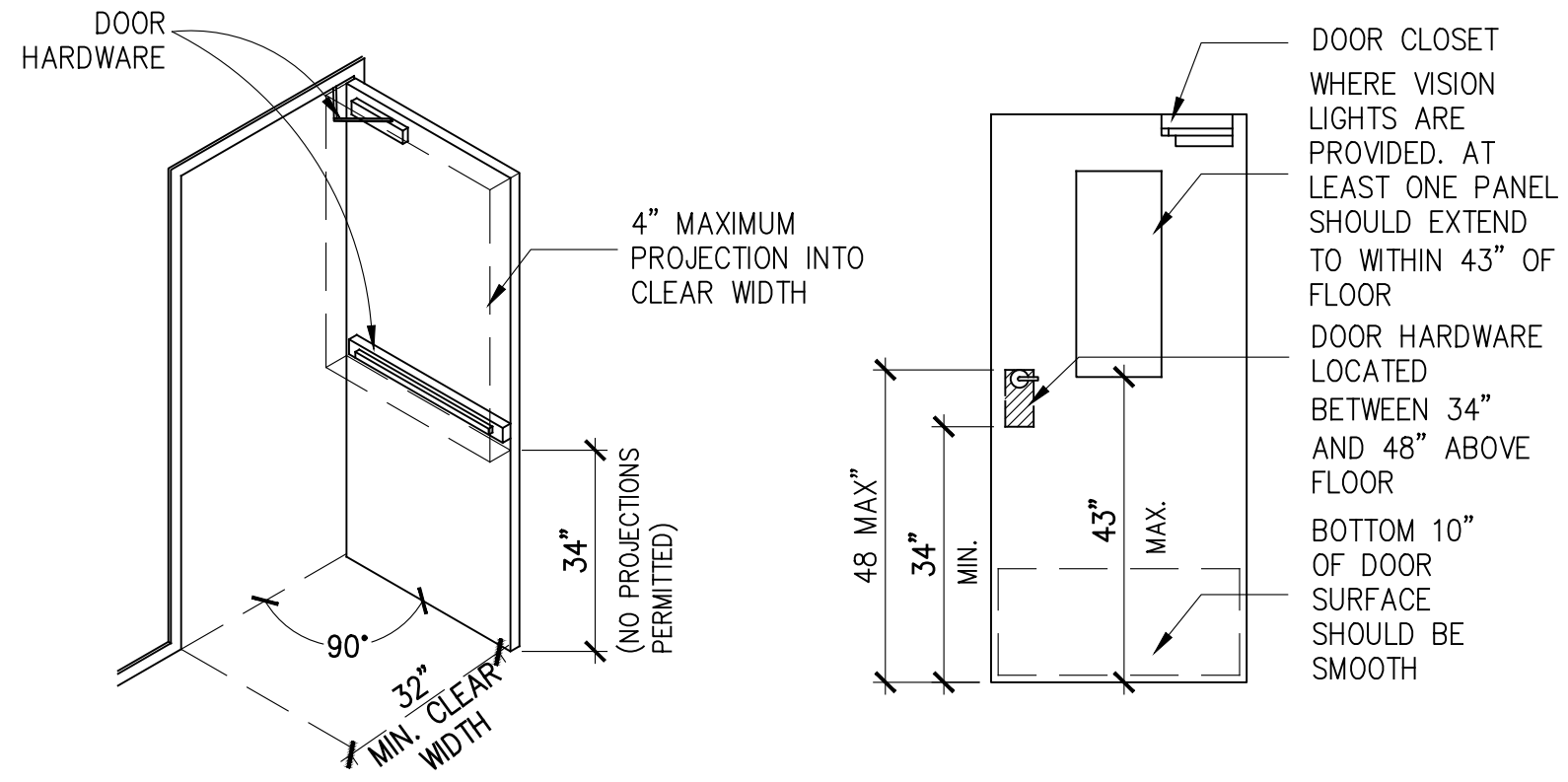
TOILET PARTITION



PLYWD. BLOCKING

ALL WOOD BLOCKING TO BE FIRE-TREATED WOOD.

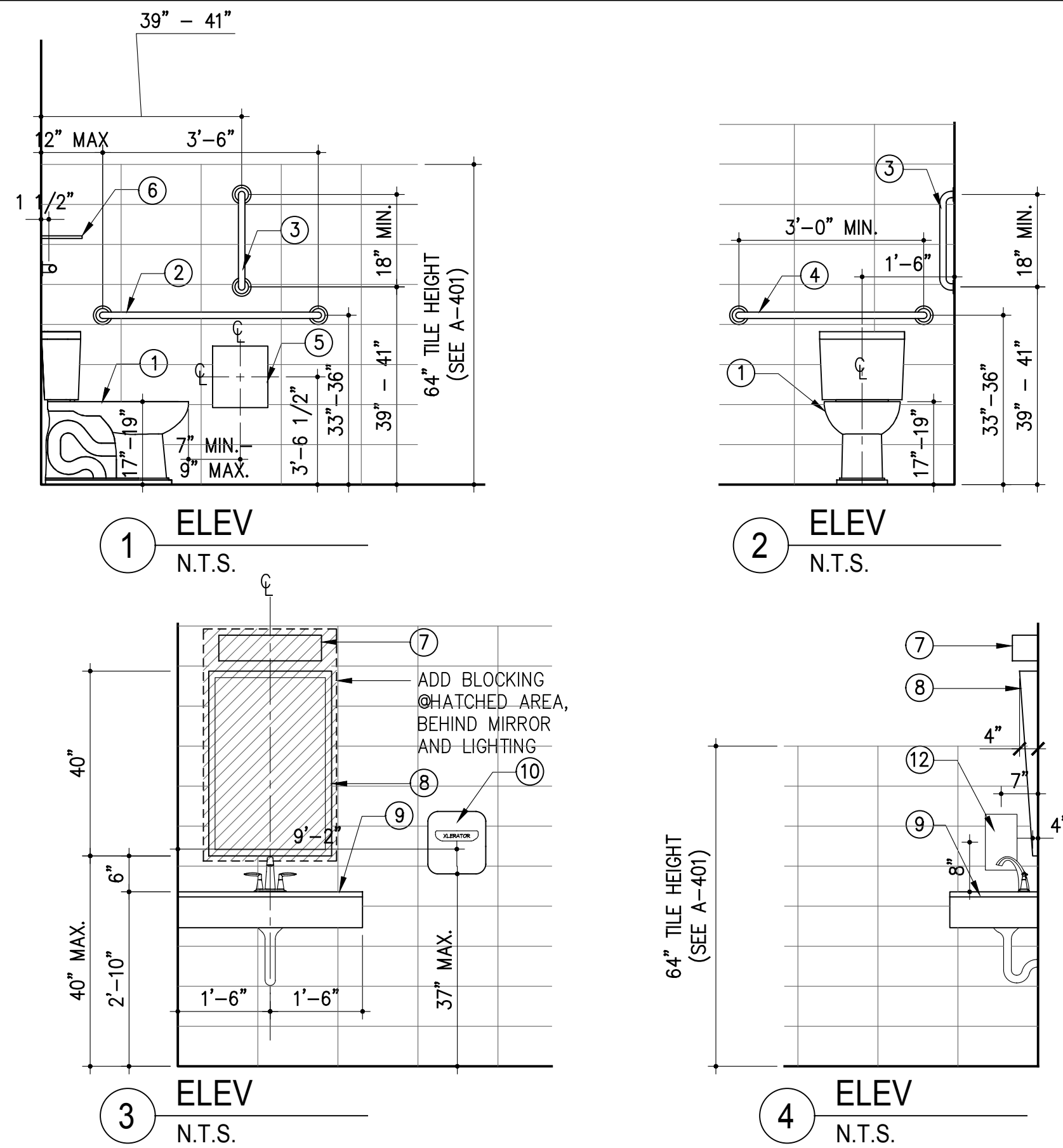
TYP. DOOR CLEARANCE



TOILET TEMPLATE

NO.	DESCRIPTION	TYPE	SPEC
1	TOILET	ADA COMPLIANCE AMERICAN STANDARD TOILET, G.C. TO INSTALL TOILET WITH FLUSH VALVE LOCATED AT CLEARANCE SIDE.	AMERICAN STANDARD CADET FLOWISE RIGHT HEIGHT ELONGATED PRESSURE-ASSISTED TOILET 4142.100 W/ AMERICAN STANDARD #5324.019 "RISE & SHINE" (W/ EASY TO CLEAN LIFT-OFF HINGE SYSTEM) SOLID PLASTIC CLOSED FRONT SEAT WITH COVER
2	GRAB BAR(HOR.)	WALL MOUNTED 42" HORIZONTAL BAR	1) GRAB BARS SHALL SUPPORT 250 LB.
3	GRAB BAR(VER.)	WALL MOUNTED 18"(MIN.) VERTICAL BAR	2)TOWEL BARS CANNOT SERVE AS GRAB BARS.
4	GRAB BAR(VER.)	WALL MOUNTED 36"(MIN.) HORIZONTAL BAR	3)ALL GRAB BARS SHALL HAVE A TEXTURED FINISH.
5	TOILET PAPER DISPENSER	SAM JAMAR OCEANS SINGLE 9" JBT DISPENSER	BLACK - R2090TEK
6	GLASS SHELF	22" GLASS SHELF	MOEN CSYB5490CH 22" GLASS SHELF, CHROME FINISH
7	LIGHTING FIXTURE	SEE SPEC. ON A-300	SEL. BY CLIENT
8	MIRROR	TILT MIRROR WITH STAINLESS STEEL FRAME	BOBBRICK B-293 2436 W24" X H36"
9	LAVATORY	WALL-MOUNTED LAVATORY W/MILLWORK	NEO METRO 3680 UNDERMOUNT; POLISHED CHROME. G.C. TO PROVIDE MILLWORK (WHITE SOLID SURFACE). INSTALL ADA COMPLIANT KNEE GUARD ON EXPOSED PIPE.
10	HAND DRYER	WALL MOUNTED EXCEL HAND DRYER, XLERATOR HAND DRYER; COLOR BLACK, GRAPHITE, TEXTURED FINISH	XL-GR-ECO, NO HEAT, COLOR: BLACK,GRAPHITE TEXTURED PAINTED, AUTOMATIC SENSOR, SURFACE MOUNTED, LEED CREDITS, 500WTTIS
11	HAND SOAP DISPENSER	PROVON; 1200ML, DOVE GRAY	11 1/4"H X 6-3/8"W X 4 7/16"

TOILET ELEVATIONS



ARCHITECT OF RECORD:

307 SEVENTH AVE. SUITE 1803
NEW YORK, NEW YORK, 10001
TEL +1-212-883-3356

BRONX BREWERY
64 2 AVE., NY, NY 10003

THE BRONX BREWERY LLC
856 E 136TH STREET
BRONX, NY 10454

The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.

The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.

THESE PLANS ARE FILED SEPARATELY FOR ALL 2 DISCRETE 44 OT (GENERAL CONSTRUCTION) APPLICATION DATED (INSERT DATE) TO ESTABLISH THE USE, ACCESSORY USE AND EGRESS FOR THE PREMISES AND THE WORK AS INDICATED ON THE APPLICATION AND PLANS. ALL OTHER MATTERS SHOWN ARE NOT TO BE REPLIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES. ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY FOR ANY WORK DEVIATED FROM APPROVED PLANS. OTHER WORK SUCH AS STRUCTURAL AND MEPS ARE FILED UNDER SEPARATE APPLICATIONS AND PLANS.

All legal rights including but not limited to, copyright and design patent rights in the design, arrangement and data shown on this document are the property of William Lenart, Architect, P.L.L.C. and were developed solely by use of this project. They may not be used or re-used in whole or in part, except in connection with the project without the prior written consent of William Lenart, Architect, P.L.L.C. William Lenart, Architect, P.L.L.C. shall have precedence over all dimensions and conditions on this project, and William Lenart, Architect, P.L.L.C. shall be notified of any variations from the dimensions and conditions shown by these.

DOCUMENTS ONLY VALID WHEN SIGNED AND SEALED

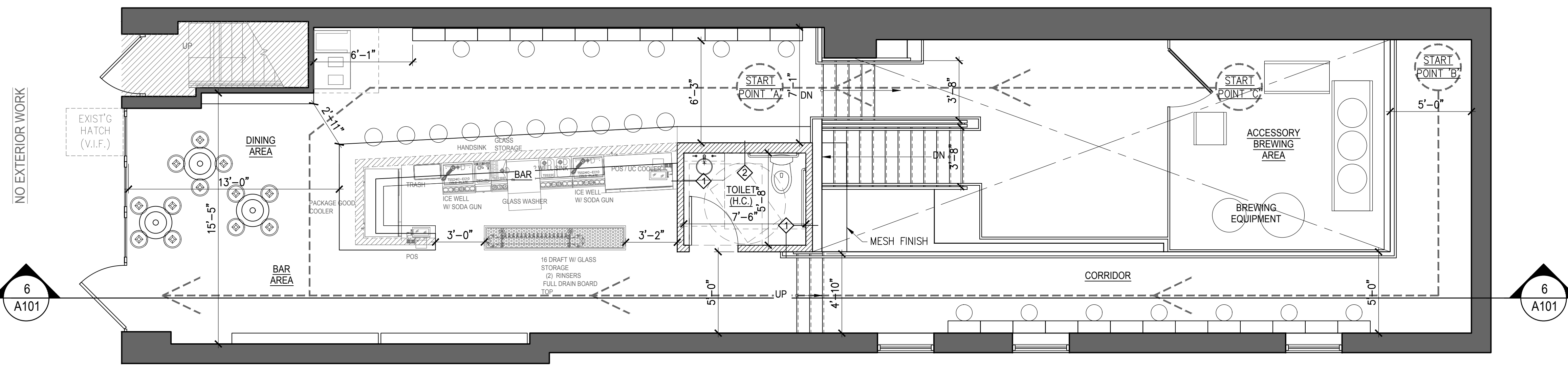
DATE	NO.	REMARKS

REVISIONS
ADA NOTES, TOILET TEMPLATES.

SCALE:
DRAWN BY:
CHECKED BY:
DATE:
PROJECT NO.: 20-020
SHEET NUMBER:

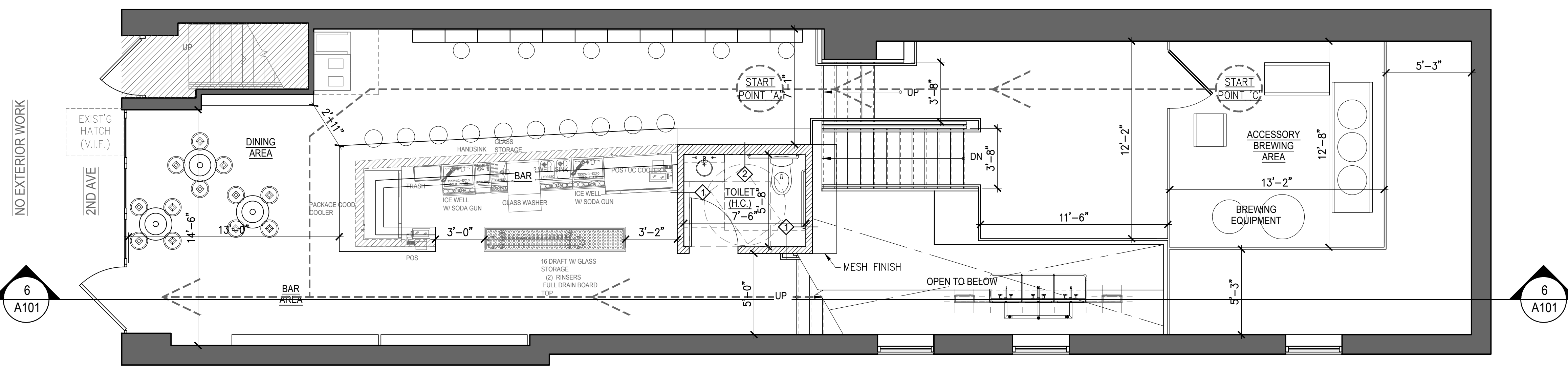
G-100.00

NYC DOB B18 NO. SHEET 03 OF 09



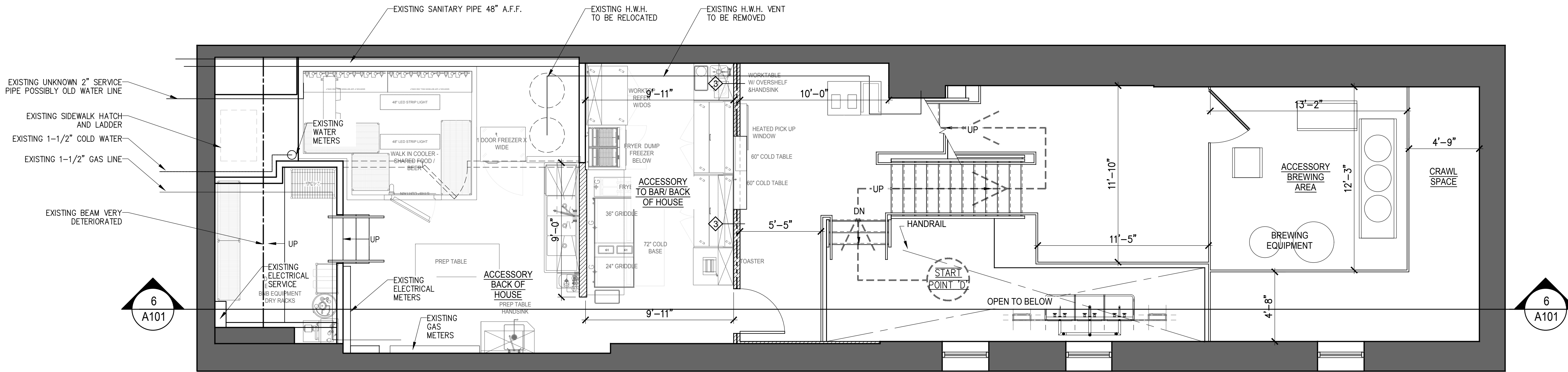
1 GROUND UPPER LEVEL PLAN
1/4" = 1'-0"

GC TO COORDINATE WITH INTERIOR DESIGN SET



2 GROUND LEVEL PLAN
1/4" = 1'-0"

GC TO COORDINATE WITH INTERIOR DESIGN SET



3 GROUND LOWER LEVEL PLAN
1/4" = 1'-0"

ARCHITECTURAL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXISTING EXTERIOR PARTITION
[Symbol]	EXISTING INTERIOR PARTITION
[Symbol]	NEW 2HR-RATED INTERIOR PARTITION
[Symbol]	NEW NON-RATED INTERIOR PARTITION
[Symbol]	NEW 8" CMU WALL
[Symbol]	WALL TO BE REMOVED
[Symbol]	WINDOW
[Symbol]	DOOR TYPE TAG
[Symbol]	NEW DOOR
[Symbol]	EXISTING DOOR
[Symbol]	NEW PARTITION TYPE TAG
[Symbol]	DETAIL NUMBER DRAWING NUMBER DETAIL AREA
[Symbol]	SECTION NUMBER AND TARGET DRAWING NUMBER
[Symbol]	DETAIL TITLE DETAIL SCALE
[Symbol]	LOCATION OF FIRE EXTINGUISHER WITH CABINET. SEE 06/A600.

OCCUPANT LOAD

OCCUPANCY: F-4 (A-2)

UNDER NYC BC 1986:

DINING SPACES: 12 NET
1,367 SF = 355P
12

KITCHENS (ACCESSORY TO BAR; BACK OF HOUSE): 200 NET
557 SF = 1.1P = 2P
200

EXIT TRAVEL DISTANCE

OCCUPANCY (B)	TABLE 6-1	
	WITH SPRINKLER SYSTEM (FEET)	WITHOUT SPRINKLER SYSTEM (FEET)
MAX. TRAVEL DISTANCE	200'	150'
TRAVEL DISTANCE "A"	N/A	46'-2"
TRAVEL DISTANCE "B"	N/A	91'-1"
TRAVEL DISTANCE "C"	N/A	77'-1"
TRAVEL DISTANCE "D"	N/A	89'-4"

FINISH SCHEDULE

LOCATION	FINISH	SPEC.
WALLS	PAINT	SELECTED BY CLIENT
FLOORS	TILE	SELECTED BY CLIENT
CEILING	GYP. BD. / PAINT	SELECTED BY CLIENT

PLUMBING FIXTURE

OCCUPANCY: F-4 (A-2)
ACTUAL OCCUPANCY = 74 EA

REQUIRED FIXTURES AS PER TABLE 7.21.1, NSPC 2018
USE GROUP F - ASSEMBLY

WATER CLOSETS
1-75 PER MALE PERSONS
1-40 PER FEMALE PERSONS
75 MALE = 1 FIXTURES
40 FEMALE = 2 FIXTURES
TOTAL 3 FIXTURES REQUIRED : 3 PROVIDED

LAVATORIES
1-75 PERSONS 1 REQUIRED
MALE = 1 LAV.
FEMALE = 1 LAV.
TOTAL 2 FIXTURES REQUIRED : 3 PROVIDED

OTHER:
1 SERVICE SINK

All legal rights including but not limited to, copyright and design patent rights in the design, arrangement and plans shown on this document are the property of William Lenart, Architect, PLLC and are hereby assigned to William Lenart, Architect, PLLC. They may be used or re-used in whole or in part, except in connection with the project without the prior written consent of William Lenart, Architect, PLLC. William Lenart, Architect, PLLC shall have precedence over all other dimensions and conditions on the project, and William Lenart, Architect, PLLC shall be notified of any variations from the dimensions and conditions shown by these.

DOCUMENTS ONLY VALID WHEN SIGNED AND SEALED

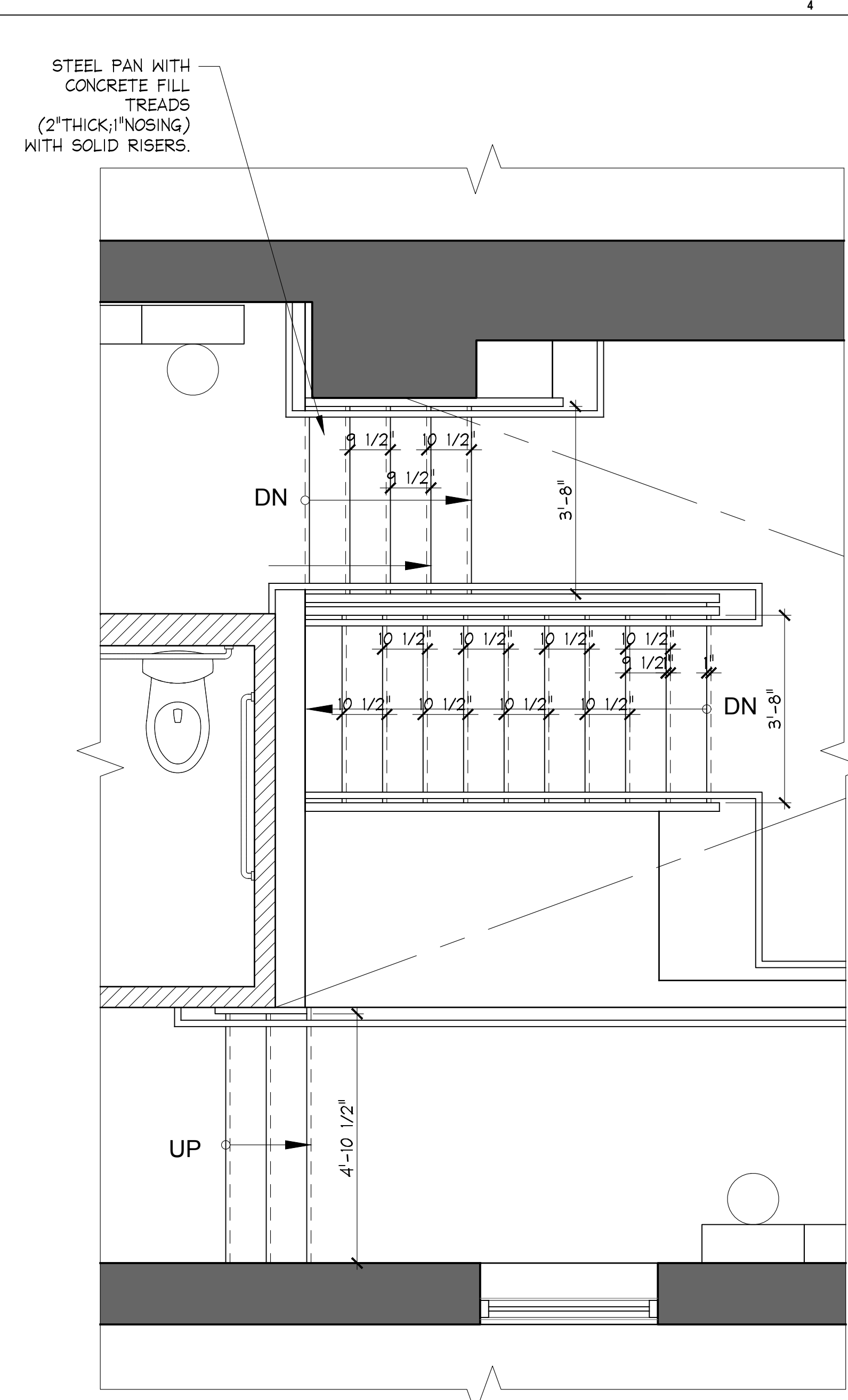
DATE	NO.	REMARKS

REVISIONS
CONSTRUCTION PLANS, NOTES.

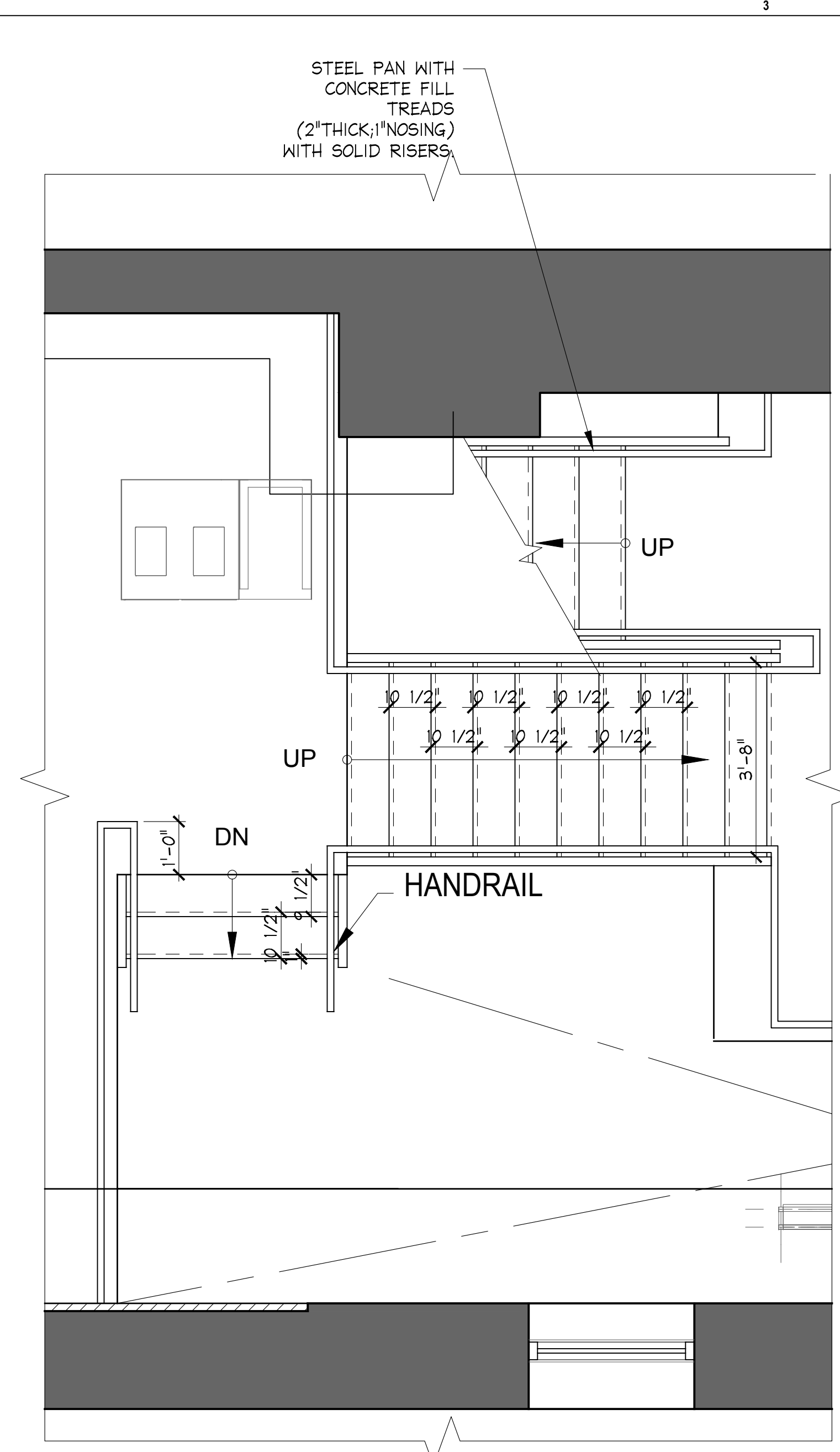
SCALE:
DRAWN BY:
CHECKED BY:
DATE:
PROJECT NO.: 20-020
SHEET NUMBER:

A-100.00

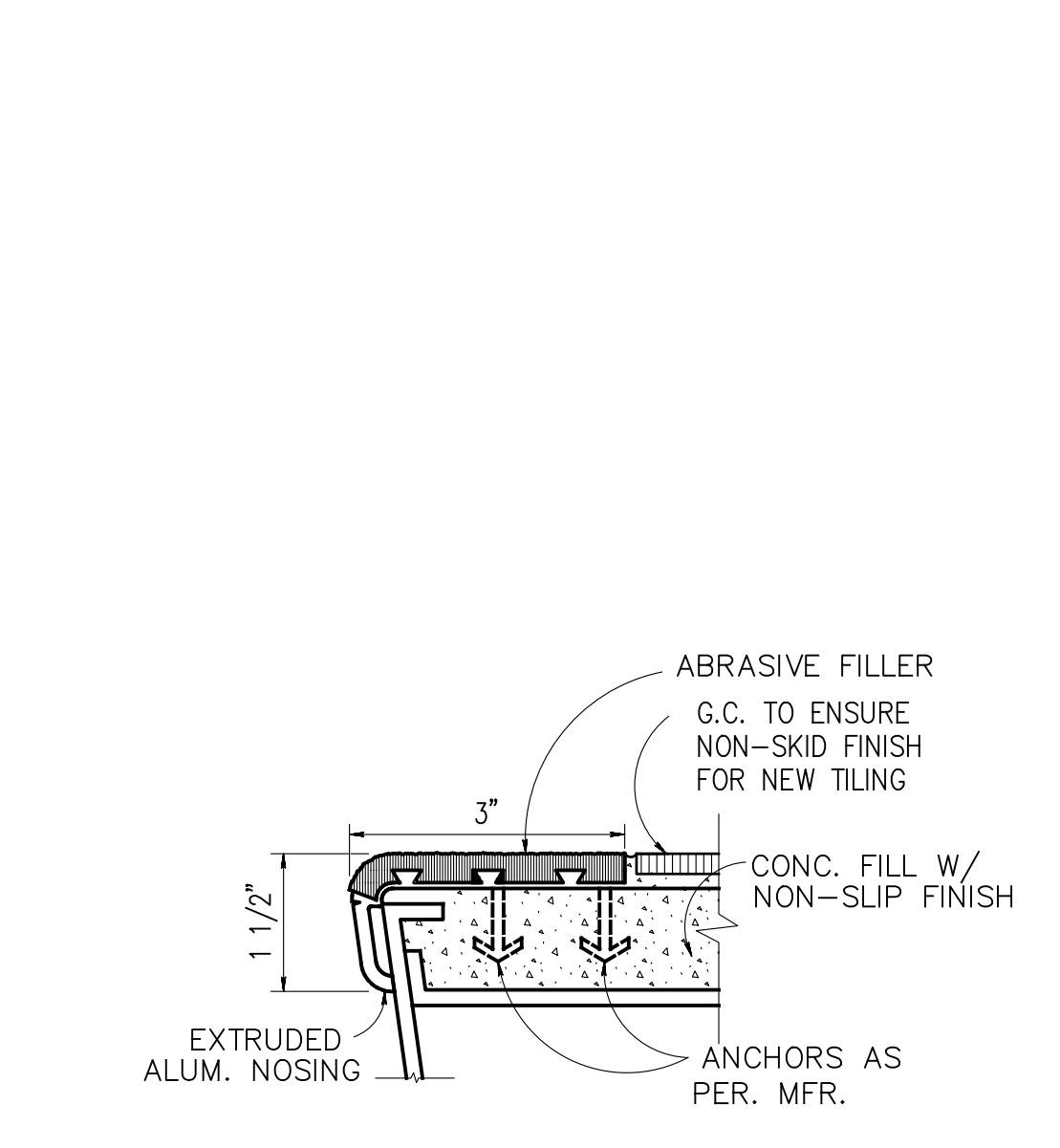
NYC DOB B18 NO. SHEET 04 OF 09



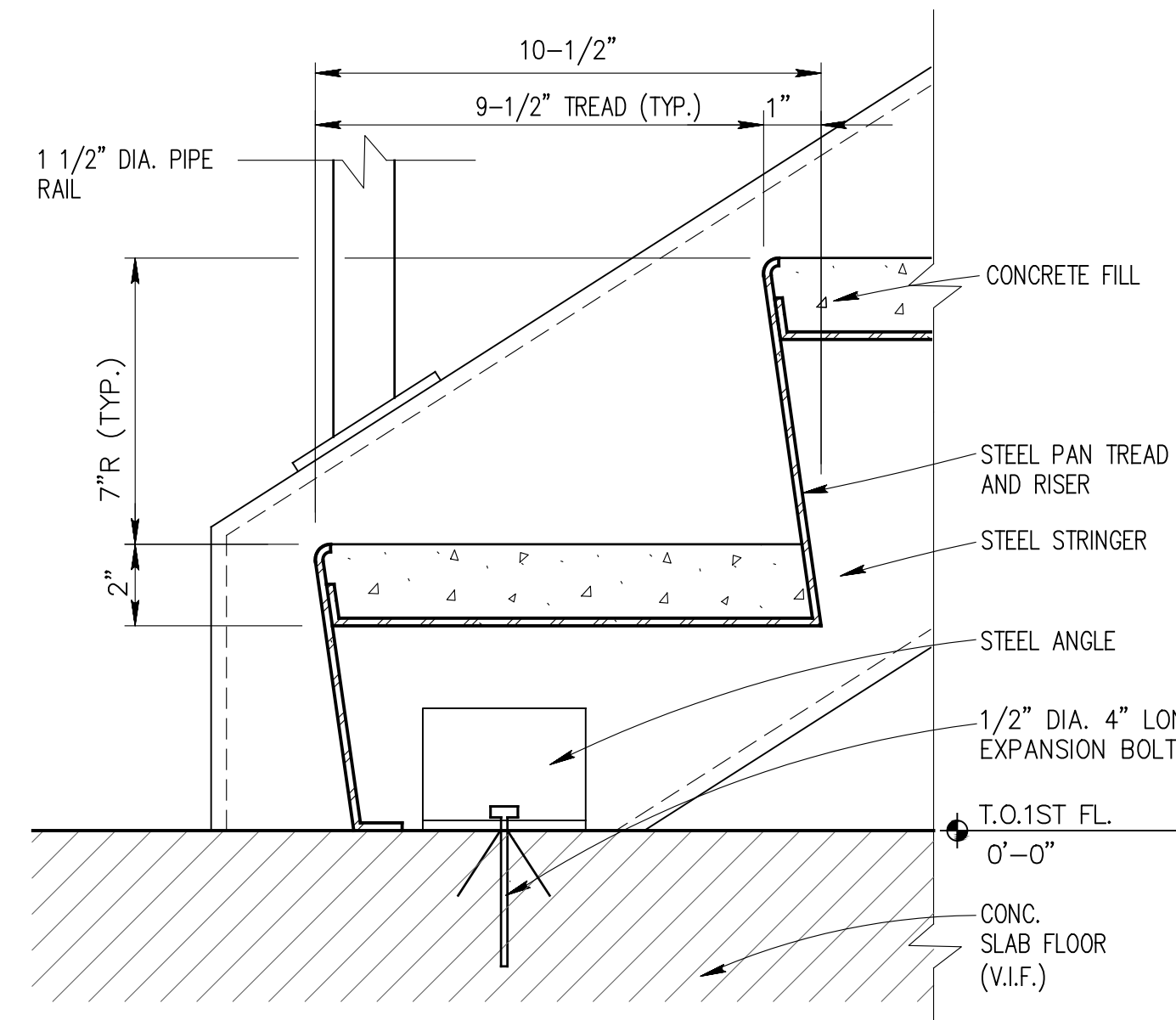
1 ENLARGED STAIR PLAN
SCALE: 1/2" = 1'-0"



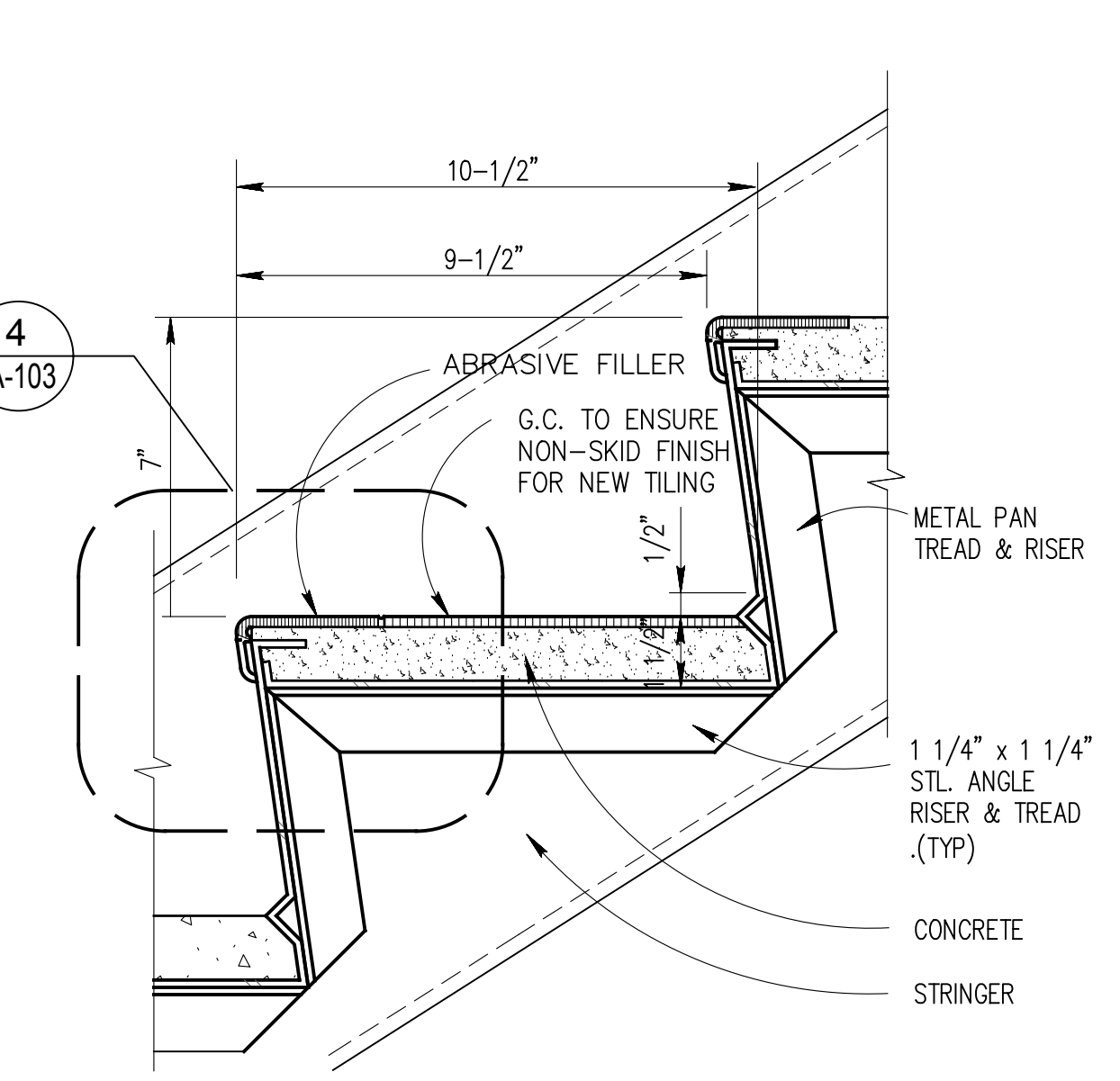
2 ENLARGED STAIR PLAN
SCALE: 1/2" = 1'-0"



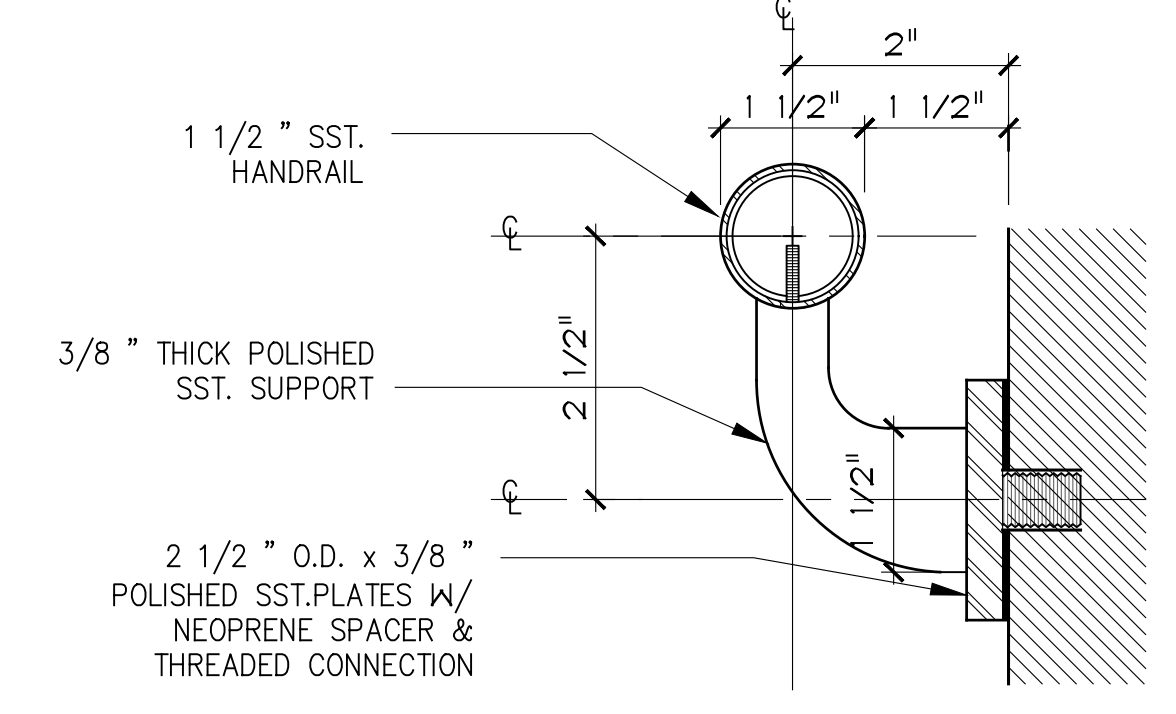
7 TYP. STAIRS NOSING DETAIL
3" = 1'-0"



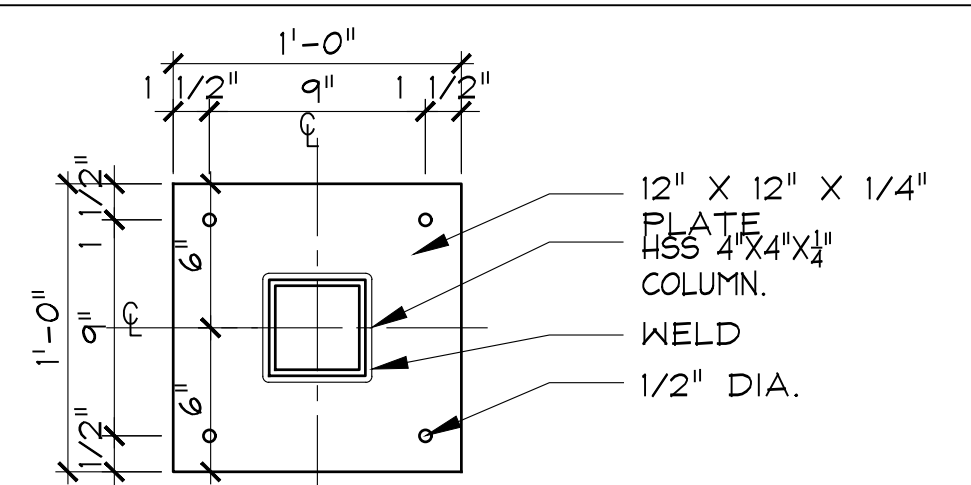
8 TYP. METAL STAIRS DETAIL BOTTOM
3" = 1'-0"



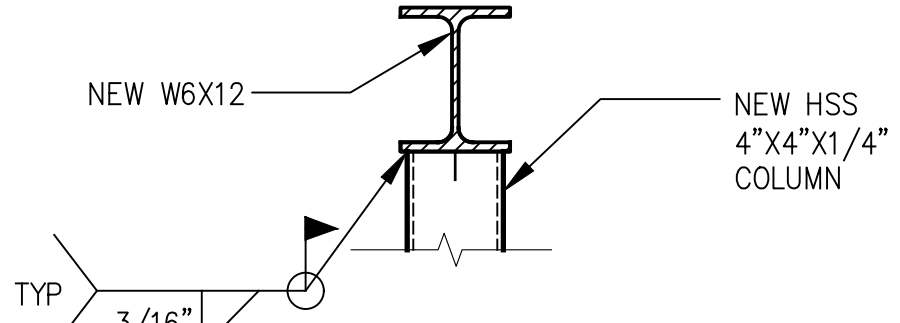
9 TYP. METAL STAIRS DETAIL TREADS
3" = 1'-0"



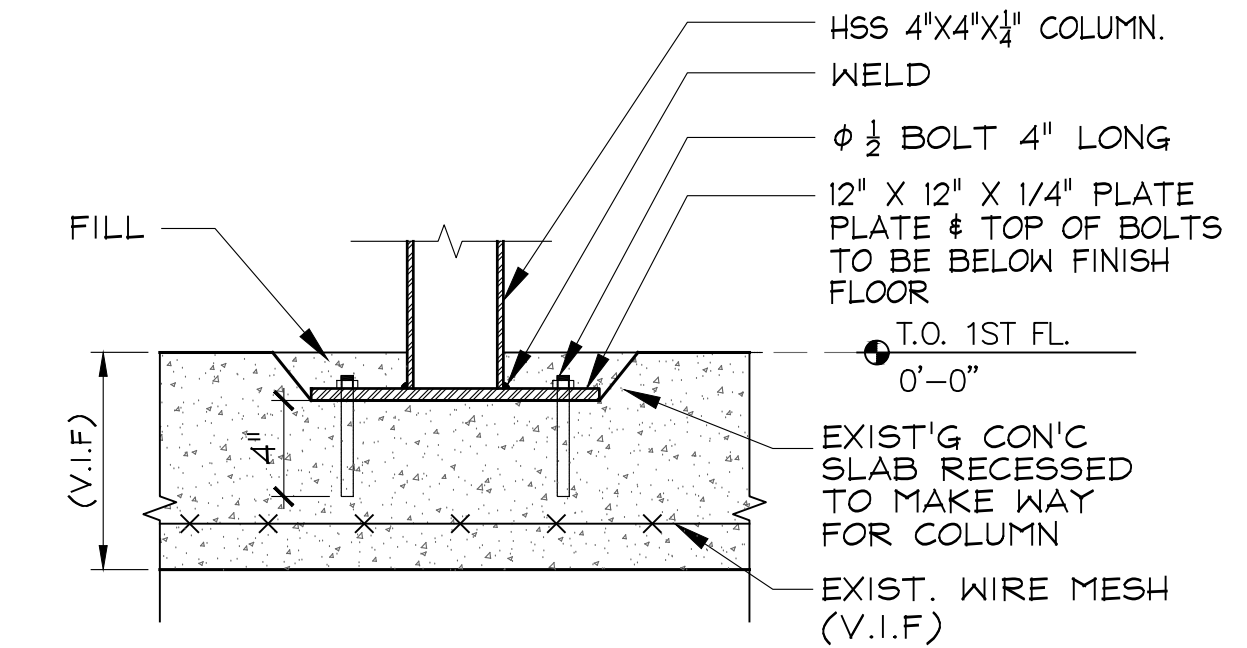
3 HANDRAIL DETAIL
N.T.S.



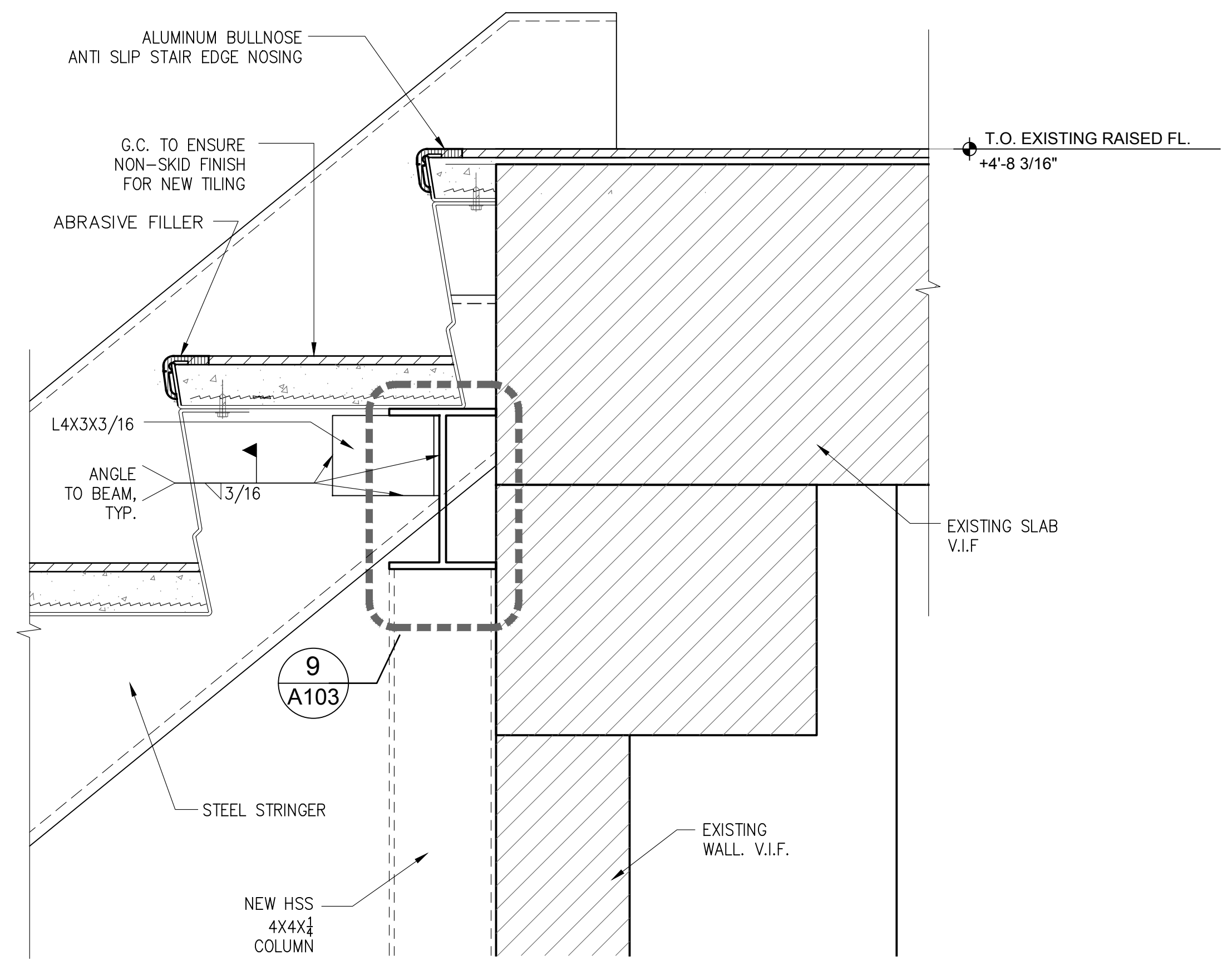
4 PLATE DETAIL
1 1/2" = 1'-0"



5 COLUMN TO BEAM CONNECTION DETAIL
1 1/2" = 1'-0"



6 COLUMN DETAIL
1 1/2" = 1'-0"



10 METAL STAIRS DETAIL TOP
3" = 1'-0"

ARCHITECT OF RECORD:
307 SEVENTH AVE. SUITE 1803
NEW YORK, NEW YORK, 10001
TEL +1-212-863-3356

BRONX BREWERY
64 2 AVE. NY, NY 10003

THE BRONX BREWERY LLC
856 E 136TH STREET
BRONX, NY 10454

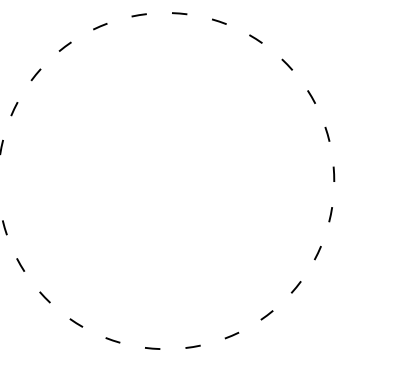
The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.
The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide construction administration services.
The firm of William Lenart, Architect, P.L.L.C. is principal architect and consultant has not been retained to provide services related to asbestos, toxic waste or hazardous materials, their removal or abatement. William Lenart, Architect, P.L.L.C. does not make recommendations related to asbestos in any form; asbestos abatement, removal, or containment health hazards or exposure; corrective action programs, or asbestos containment or removal programs.

Attention to this document not conforming to Article 167, Section 2307, Part 2307 of the New York Education Law is prohibited.
It is a violation of law for any person, unless they are acting under the direction of a licensed professional architect, to alter an item in any way on this drawing, specification or report (hereinafter, "document") bearing the seal of an architect is altered, the altering architect shall file with the document the seal and the certification "altered by" followed by their signature and the date of such alteration and a specific description of the alteration.

THESE PLANS ARE FILED SOLELY FOR ALL 2020 RESPECTIVE 44 OT (GENERAL CONSTRUCTION) APPLICATION DATED (INSERT DATE) TO ESTABLISH THE USE, ACCESSORY USE AND EGRESS FOR THE PREMISES AND THE WORK AS INDICATED ON THE APPLICATION AND PLANS. ALL OTHER MATTERS SHOWN ARE NOT TO BE REPLIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES. ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY FOR ANY WORK DEVIATED FROM APPROVED PLANS, OTHER WORK SUCH AS STRUCTURAL AND MEPS ARE FILED UNDER SEPARATE APPLICATIONS AND PLANS.

All legal rights including but not limited to, copyright and design patent rights in the design, arrangement and plans shown on this document are the property of William Lenart, Architect, P.L.L.C. and are developed solely for use of this project. They may not be used or re-used in whole or in part, except in connection with this project without the prior written consent of William Lenart, Architect, P.L.L.C. William Lenart, Architect, P.L.L.C. shall have precedence over all other dimensions and conditions on the project, and William Lenart, Architect, P.L.L.C. shall be notified of any variations from the dimensions and conditions shown by these.

DOCUMENTS ONLY VALID WHEN SIGNED AND SEALED



DATE	NO.	REMARKS

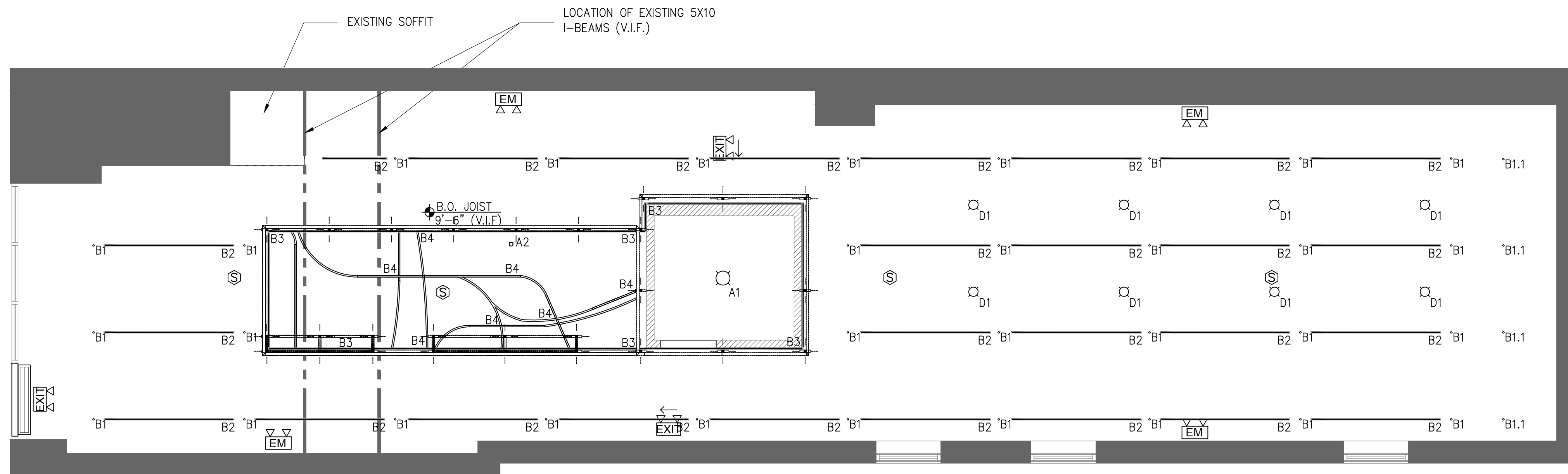
REVISIONS
STAIR PLANS, SECTIONS, AND DETAILS

SCALE:
DRAWN BY:
CHECKED BY:
DATE:
PROJECT NO. 20-020
SHEET NUMBER

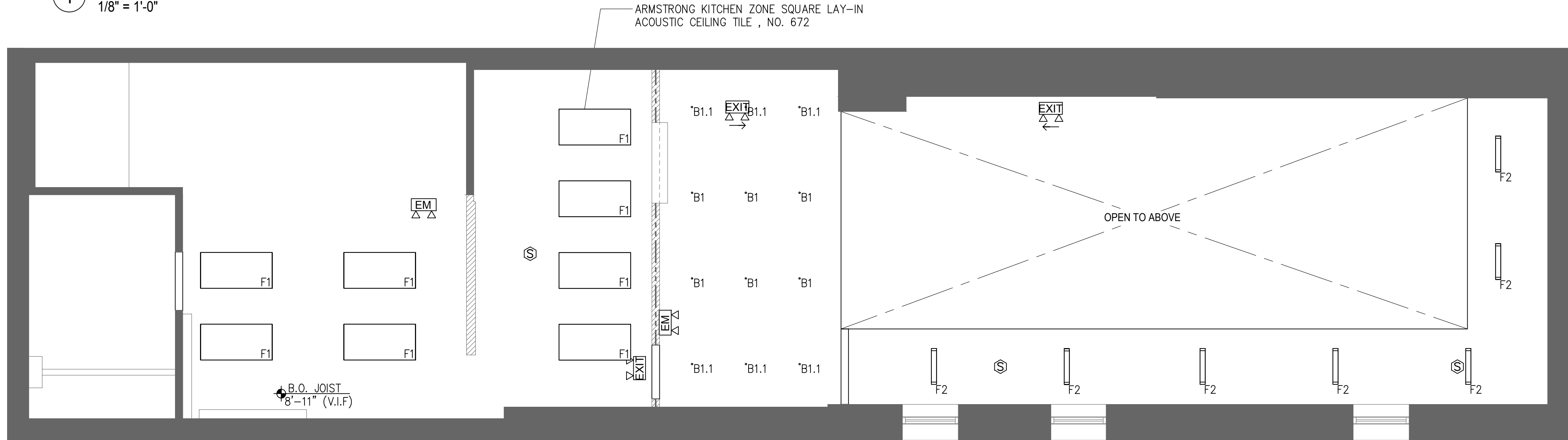
A-103.00

NYC DOB B.S. NO. SHEET 07 OF 09

NOTE: G.C. TO INSTALL AND MAINTAIN FIRE-RATED CEILING. G.C. TO REFER TO INTERIOR DESIGN SET FOR CEILING HEIGHTS AND FINISHES.



1 GROUND/ GROUND UPPER LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"

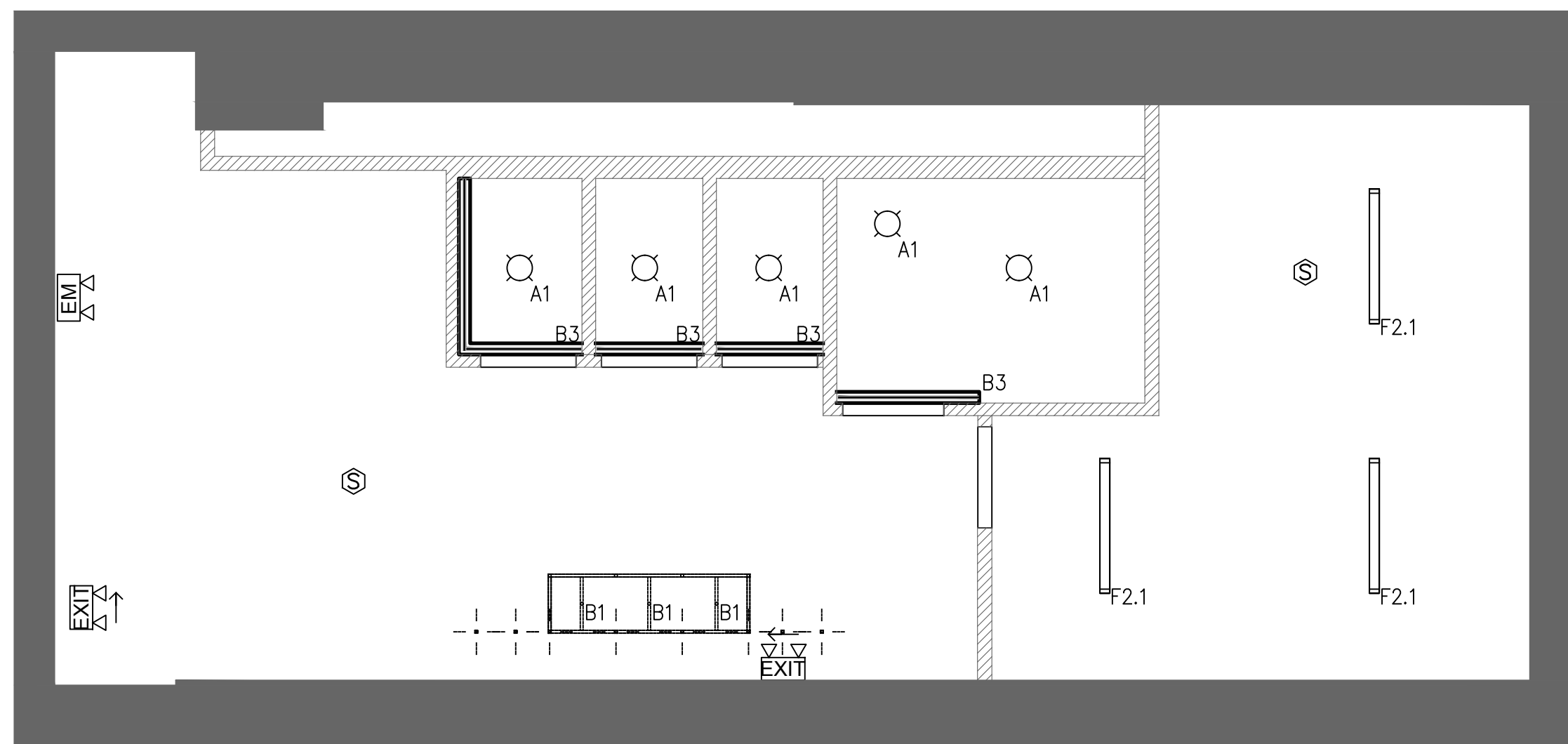


2 GROUND LOWER LEVEL/CELLAR REFLECTED CEILING PLAN
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE

NOTE:
1. TITANIUM CRISP LED SERIES 4.0 PAR30 12.5-WATT / WARM WHITE 2700K / DIMMABLE
2. TITANIUM CRISP LED SERIES 4.0 PAR20 7-WATT / WARM WHITE 2700K / DIMMABLE

SYMBOL	TYPE	MANUFACTURER MODEL #	DESCRIPTION	QTY	LAMP DATA			REMARKS
					TYPE	WATT	VOLT	
A1	A1	WAC LIGHTING; OCCULUX - 0-35" ADJUSTABLE	3.5" RECESSED ROUND LIGHT	6	LED	11W	120-277	2,700K 6 FIX. X 11 W = 66 WATT.
A2	A2	WAC LIGHTING; LEDME BUTTON LIGHT; HR-LED87-27-BK	2.25" RECESSED ROUND LIGHT	1	LED	5W	120-277	2,700K 1 FIX. X 5 W = 5 WATT.
B1	B1	CLARTE LIGHTING; TBD	4" SURFACE MOUNTED ROUND LIGHT	45	T8	15W	120	2,700K 45 FIX X 15 W = 675 WATT
B1.1	B1.1	CLARTE LIGHTING; TBD	4" CEILING MOUNTED ROUND LIGHT	6	T8	15W	120	2,700K 6 FIX X 15 W = 90 WATT
B2	B2	MODALIGHT; STARFLEX INTERIOR RGBW	SEE PLANS FOR ARRANGEMENT AND PLACEMENT	27	T8	24W	120	3,000K 27 FIX X 24 W = 648 WATT
B3	B3	MODALIGHT; STARFLEX DYNAMIC WHITE	SEE PLANS FOR ARRANGEMENT AND PLACEMENT	TBD	T8	12W	120	2,700K TBD FIX X 12 W = TBD WATT
B4	B4	LED NEON FLEX; VIVID PVC 24V S 270 PIXEL	SEE PLANS FOR ARRANGEMENT AND PLACEMENT	TBD	T8	5W	120	3,000K TBD FIX X 5 W = TBD WATT
D1	D1	WAC LIGHTING; TUBE ARCHITECTURAL DS-PD08	8" SUSPENDED ROUND LIGHT	8	T8	46W	120	2,700K 8 FIX X 46 W = 368 WATT
F1	F1	COLUMBIA LIGHTING; LCAT24-30-MW-G-E-U	2' X 4' RECESSED FLAT LED PANEL	8	T8	19W	120	3,000K 8 FIX X 19 W = 152 WATT
F2	F2	LITHONIA LIGHTING; CDS-L24-MVOLT-DM-35K-80CRI-WH	24" RECESSED LINEAR LIGHT	7	T8	21W	120	3,500K 7 FIX X 21 W = 147 WATT
F2.1	F2.1	LITHONIA LIGHTING; CDS-L48-MVOLT-DM-35K-80CRI-WH	48" LINEAR LIGHT	3	T8	38W	120	3,500K 3 FIX X 38 W = 114 WATT
EM	EM	EMERGENCY LED LIGHT, WALL MOUNTED	ENORE LIGHTING 6EB36-2-NY-MB	7	LED	4.4	120-277	PLUG-IN POWER SUPPLIES AS PER SPEC.
EXIT	EXIT	EXIT SIGN W/EMERGENCY LIGHTING COMBO, WALL MOUNTED	ENORE LIGHTING LC8-2-MB	2	LED	2.5	120-277	
EXIT	EXIT	EXIT SIGN W/EMERGENCY LIGHTING COMBO, ARROW, CEILING MOUNTED	ENORE LIGHTING LC8-2-MB	6	LED	2.5	120-277	



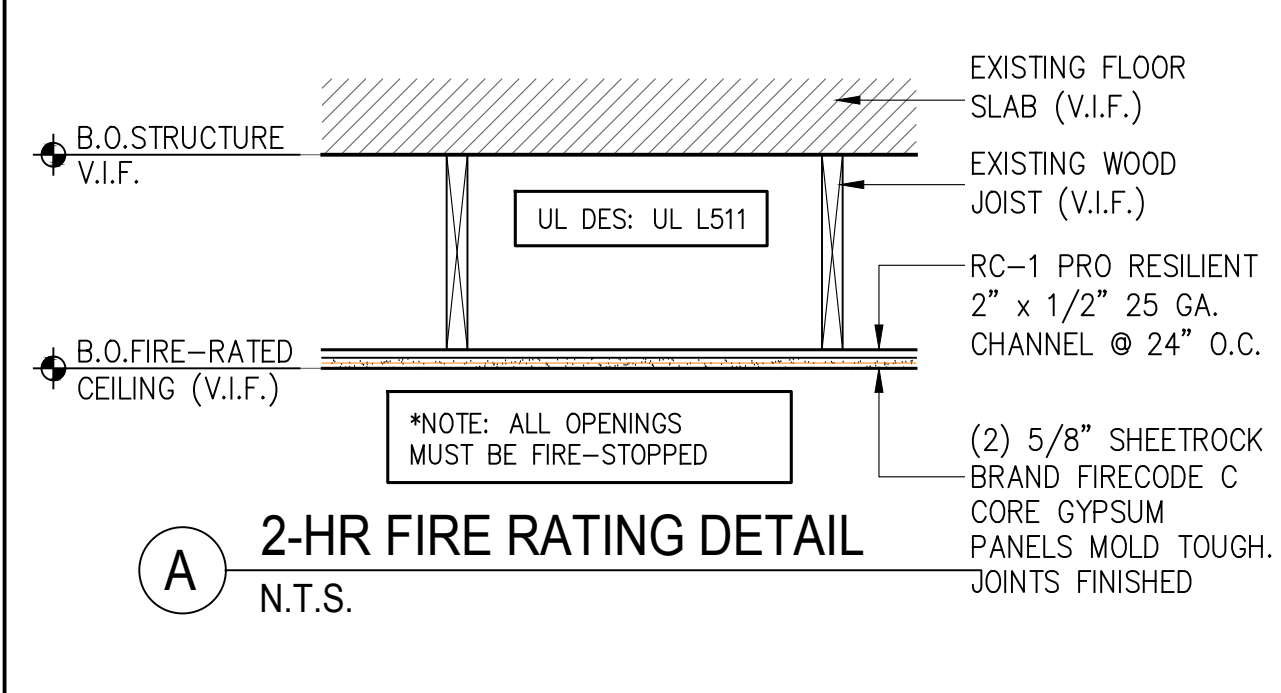
3 CELLAR LOWER LEVEL REFLECTED CEILING PLAN
1/8" = 1'-0"

CEILING LEGEND

SYMBOL	DESCRIPTION
GYP.BD.	CLG. TYPE
10'-0"	CLG. HEIGHT
EXAM ROOM	ROOM NAME
GYP.BD.	5/8" GYP.BD. CEILING - PAINTED. SEE FINISH SPEC. A-401
ACT	ARMSTRONG KITCHEN ZONE SQUARE LAY-IN ACOUSTIC CEILING TILE, NO. 672
NL	TYP. NIGHT LIGHT. SEE DETAIL A/A301
S	WALL MTD. SINGLE POLE LIGHT SWITCH @ 48" A.F.F., MODEL: LUTRON DVSTV-WH
S3	WALL MTD. 3-WAY LIGHT SWITCH @ 48" A.F.F., MODEL: LUTRON DVSTV-WH
S D	WALL MTD. DIMMER LIGHT SWITCH @ 48" A.F.F., MODEL: LUTRON DVSTV-WH
S OS	WALL MTD. OCCUPANCY SENSOR SWITCH @ 48" A.F.F., (AUTO-ON & OFF) MODEL: LUTRON MS-A102-WH
OS	CEILING MTD. OCCUP.SENSOR(AUTO-ON & OFF) MODEL: LOS-CDT-500-WH
DS	CEILING MTD. DAYLIGHT SENSOR, MODEL: EC-DIR-WH
S	SMOKE DETECTOR
CO	CARBON MONOXIDE & SMOKE COMBINATION DETECTOR
SP	RECESSED SPEAKER BY OTHERS
SEC	NEW SECURITY CAMERA BY OTHERS
AS	AIR SUPPLY SEE SPEC. ON MECHANICAL DRAWING.
AR	AIR RETURN SEE SPEC. ON MECHANICAL DRAWING.
AC	AIR SUPPLY-CEILING RECESSED CASSETTE SEE SPEC. ON MECHANICAL DRAWING.
AW	WALL MOUNTED AHU SEE SPEC. ON MECHANICAL DRAWING.
ACU	AIR CURTAIN SEE SPEC. ON MECHANICAL DRAWING.

R.C.P. NOTES:

- THE GENERAL CONTRACTOR SHALL COORDINATE THE CEILING AREAS WHERE PARTITIONS ARE REMOVED WITH NEW CEILING WORK.
- THE CEILING CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE CABINET, PLUMBING, HVAC, ELECTRICAL CONTRACTORS, AND THE TELEPHONE COMPANY WHEREVER THEIR RESPECTIVE WORK IS CONTIGUOUS.
- THE CEILING CONTRACTOR SHALL COORDINATE ACCESS PANELS FOR HVAC UNITS.
- PRIOR TO CLOSING UP ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING AND ELECTRIC) SHALL BE INSPECTED AND WHERE REQUIRED, TESTED BY MECHANICAL ENGINEERS, BUILDING MANAGEMENT, IF REQUIRED AND BY THE AUTHORITIES HAVING JURISDICTION TO INSURE THEIR PROPER INSTALLATION AND FUNCTION.
- ALL JOINTS IN THE TILE FIELD SHALL BE SQUARE, LEVEL AND PERFECTLY ALIGNED WITH EACH OTHER AND WITH THE RECESSED LIGHTING FIXTURES.
- THE CONTRACTOR SHALL PROVIDE CUTOUTS AND OTHER SPECIAL PROVISIONS IN ACOUSTICAL WORK AS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS AND OTHER INSERTED ITEMS. SEE M/E/P DRAWINGS.
- NEW SUSPENDED CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NYC BUILDING CODE AND ANY REGIONAL AND/OR LOCAL ZONING CODE.
- THE CONTRACTOR WILL NOT BE ENTITLED TO EXTRAS FOR OPENING ANY PARTITIONS, FLOORS OR CEILINGS BECAUSE OF TELEPHONE COMPANY'S INSTALLATION, AND/OR SECURITY SYSTEMS.
- ALL FIXTURES (LIGHTS, SPRINKLERS, SPEAKERS, GRILLES, SMOKE DETECTORS, ETC...) TO BE LOCATED IN CENTER OF CEILING TILE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REMOVE ALL EXISTING LIGHT TRACK AND RELATED CONDUIT THROUGHOUT UNLESS OTHERWISE NOTED.



A 2-HR FIRE RATING DETAIL
N.T.S.

ARCHITECT OF RECORD:
307 SEVENTH AVE, SUITE 1803
NEW YORK, NEW YORK, 10001
TEL +1-212-863-3356

BRONX BREWERY
64 2 AVE, NY, NY 10003

THE BRONX BREWERY LLC
856 E 136TH STREET
BRONX, NY 10454

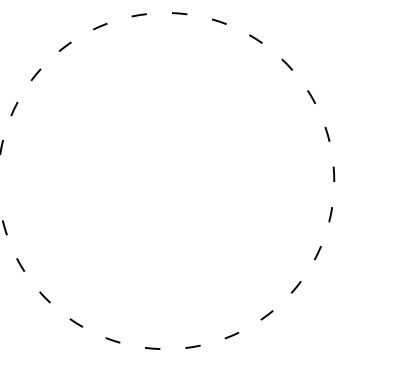
The firm of William Lenart, Architect, P.L.L.C. has not been retained to provide field supervision or inspection.
The firm of William Lenart, Architect, P.L.L.C. has not been retained to construction administration services.
The firm of William Lenart, Architect, P.L.L.C. is principal employees, and consultants have not been retained to provide services related to asbestos, toxic waste or hazardous materials, their removal, abatement or encapsulation. William Lenart, Architect, P.L.L.C. does not make recommendations related to asbestos in any form; asbestos abatement, removal, or remediation, asbestos health hazards or exposure, corrective action programs, or asbestos containment or removal programs.

Attention to this document not conforming to Article 161, Section 2307, of the Rules of the New York Education Law are prohibited. It is a violation of law for any person, unless they are acting under the direction of a licensed professional architect, to alter or amend in any way on this drawing, specification or report (electronically or otherwise) without the prior written consent of William Lenart, Architect, P.L.L.C. William Lenart, Architect, P.L.L.C. shall not be held responsible for any work deviated from approved plans and other work documents as well as for any and all dimensions and conditions on the project, and William Lenart, Architect, P.L.L.C. shall be notified of any variations from the dimensions and conditions shown by these.

THESE PLANS ARE FILED SOLELY FOR ALL 2 DISCRETE 44 OT (GENERAL CONSTRUCTION) APPLICATION DATED (INSERT DATE), TO ESTABLISH THE USE, ACCESSORY USE AND EGRESS FOR THE PREMISES AND THE WORK AS INDICATED ON THE APPLICATION AND PLANS. ALL OTHER MATTER CODES ARCHITECT OF RECORD UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES. ARCHITECT OF RECORD ASSUMES NO RESPONSIBILITY FOR ANY WORK DEVIATED FROM APPROVED PLANS AND OTHER WORK DOCUMENTS AS WELL AS FOR ANY AND ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND WILLIAM LENART, ARCHITECT, P.L.L.C. SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE.

All legal rights including but not limited to, copyright and design patent rights, in the design, arrangement and data shown on this document are the property of William Lenart, Architect, P.L.L.C. and are developed solely for use of this project. They may not be used or re-used in whole or in part, except in connection with the project without the prior written consent of William Lenart, Architect, P.L.L.C. William Lenart, Architect, P.L.L.C. shall not be held responsible for any work deviated from approved plans and other work documents as well as for any and all dimensions and conditions on the project, and William Lenart, Architect, P.L.L.C. shall be notified of any variations from the dimensions and conditions shown by these.

DOCUMENTS ONLY VALID WHEN SIGNED AND SEALED



DATE	NO.	REMARKS

REVISIONS
REFLECTED CEILING PLANS, LEGEND, NOTES.

SCALE:
DRAWN BY:
CHECKED BY:
DATE:
PROJECT NO.: 20-020
SHEET NUMBER:

A-300.00

NYC DOB B18 NO. SHEET 08 OF 09



The Bronx Brewery – East Village – Noise Mitigation Plans

We intend to follow construction and operational best practices as follows:

- Construction plans incorporate acoustic insulation
- Occupancy will be below 75 at all times, with periodic occupancy checks
- A uniformed security guard will be present in the event we hold ticketed events and on an as-needed basis during busy periods to control noise and disperse any crowds/congestion on the sidewalk
- We will not be using any outdoor area or sidewalk for operation of our business
- The accordion doors to the sidewalk will be closed every day at 10pm
- Music will be at a background level for standard operations, with a volume limiter in place
- A manager will be onsite at all times to ensure enforcement of associated policies and best practices and to respond to any issues, complaints, concerns, etc.



856 E. 136th St. Bronx, NY 10454

718-402-1000

www.thebronxbrewery.com

BASTARD BURGERS

 #BASTARDBURGERS

VEGANSK STREETFOOD



BEYOND THE BASTARD

Våra egna dillpickles, vegansk ost, veganmajonnäs, senap, ketchup och gul lök.

Burgare 109 kr
+ fries och läsk 159 kr



BEYOND NEW YORK

En riktig gatuköksburgare. Biffotomat, krispsallad, vegansk ost, bastard dressing och rödlök.

Burgare 109 kr
+ fries och läsk 159 kr



BEYOND LONDON

Bistroburgare med vår egna tryffelmajonnäs, picklad rödlök, krispsallad och vegansk ost.

Burgare 109 kr
+ fries och läsk 159 kr



BEYOND TEXAS

Bastard BBQ. Alspånsrökt tofu, rödlök, krispsallad, vegansk ost, bbqsås och chipotledressing.

Burgare 109 kr
+ fries och läsk 159 kr



BEYOND LULEÅ

Norrländsk cheeseburgare på Bastardvis Jalapeño-dressing, rödlök och vegansk ost.

Burgare 109 kr
+ fries och läsk 159 kr



BEYOND LOS ANGELES

Karamelliserad lök, jalapeños, alspånsrökt tofu, vegansk ost, biffotomat, krispsallad och jalapeño-och agavesirapsdressing.

Burgare 109 kr
+ fries och läsk 159 kr



Månadens VEGANSIGNATUR

Varje månad kör vi en signaturburgare framtagen av Gustav Johansson från Jävligt Gott.

Burgare 129 kr
+ fries och läsk 169 kr



BEYOND KIDZ MEAL

Välj mellan beyondburgare med ketchup eller 6 st vegonuggets. Serveras med valfria fries och en MER.

65 kr



Valfria fries toppade med bastarddressing, finhackad gul lök & jalapeños och alspånsrökt tofu.

Liten Stor
55 kr / 75 kr

100% VEGAN

Vår gröna meny är helt plantbaserad och allt tillagas separat. Kontakta gärna personalen om du har några frågor.



DESSERTS SHAKES & SODAS

Strawberry Lime Shake	75 kr
Oreo Shake	75 kr
Blueberry Cheesecake Shake	75 kr
Cola, Fanta, Trocadero	25 kr
Pop Art Craft Soda	35 kr
Lemmelkaffe	20 kr
Hjortronfloat	45 kr
Brownie med vispgrädde	65 kr
Vegansk vaniljglass från Lejonet och Björnen	35 kr



A FEW OF OUR VEGAN BEVERAGES

How to be a Bastard	75 kr
Little Bastard	75 kr
Pabst Blue Ribbon	49 kr
Lagunitas IPA	79 kr
Sam Adams Boston Lager	72 kr
Nanny State 0.5 %	45 kr
Rött / vitt vin (375 ml)	149 kr

THE BEYOND BURGER

Alla våra burgare är baserade på beyondburgaren som är helt och hållet växtbaserad. Källan till protein kommer i huvudsak från ärtor och den får sin röda färg från rödbetsjuice. Produkten är helt fri från soja, gluten och GMO.

DIPS & SIDES

Shack fries	35 / 40 kr
Sötpotatis fries	35 / 40 kr
Mixsallad	30 kr
Vegonuggets 6 bitar	45 kr
Animal style fries	55 / 75 kr
Bastards rotfruktschips med valfri dip	35 kr

Bastard original	15 kr
Bastard aioli	15 kr
Tryffelmajo	15 kr
Jalapeño/agavesirap	15 kr
Chipotle	15 kr

Earth Friendly

Vi måste tillsammans ta hand om planeten. Bastard Burgers klimatkompenserar 110% via ett projekt som heter Sri Balaji, ett kraftverk i Indien som producerar förnyelsebar energi och ersätter fossila bränslen.

ALLERGIER?

Säg till när du beställer så hjälper vi dig.

BASTARD BURGERS

 #BASTARDBURGERS

THE BURGERS



Signature cheese THE BASTARD

Klassisk cheeseburgare. Dillpickles, 2x cheddar, majonnäs, senap, ketchup och gul lök.

Burgare 109 kr
+ fries och läsk 159 kr



NEW YORK Original streetburger

Vår variant av gatuköks-burgaren, biffotomat, krispsallad, cheddarost, Bastarddressing och rödlök.

Burgare 109 kr
+ fries och läsk 159 kr



Umami tryffel LONDON

Bistroburgare med egen tryffelmajonnäs, picklad rödlök, krispsallad, pepper jack cheese och cheddar.

Burgare 109 kr
+ fries och läsk 159 kr



The New TEXAS

Bastard barbeque. Rökt bacon, rödlök, krispsallad, 2x cheddar, eld och lågor bbqsås och chipotledressing.

Burgare 109 kr
+ fries och läsk 159 kr



x-tra cheesy LULEÅ

Norrländsk cheeseburgare på Bastardvis. Jalapeñodressing, rödlök och trippla cheddarskivor.

Burgare 109 kr
+ fries och läsk 159 kr



The champion oak LOS ANGELES

Karamelliserad lök, jalapeños, bacon, 2x pepperjack, biffotomat, krispsallad och jalapeño- och honungsdressing.

Burgare 109 kr
+ fries och läsk 159 kr



Månadens SIGNATUR

Varje månad så kör vi en unik signaturburgare. Fråga personalen efter månadens burgare.

Burgare 129 kr
+ fries och läsk 169 kr



Crispy chickenburger KENTUCKY

Kycklingburgare på svensk kyckling, tomat, krispsallad, 2x cheddar, bastard-dressing och rödlök.

Burgare 109 kr
+ fries och läsk 159 kr



Parisare STHLM-PARIS

Norrländsk parisare, med senap, ketchup, jalapeño-dressing och hackad gul lök. På köttkorv.

Parisare 89 kr
+ fries och läsk 139 kr

KIDZ MEAL

Välj mellan hamburgare med ketchup, 6 st vegonuggets eller halloumburgare. Serveras med fries och en MER.

AMERICAN PANCAKES

Serveras med sylt, grädde och glass.

65 kr



DESSERTS SHAKES & SODAS

Strawberry Lime Shake	75 kr
Oreo Shake	75 kr
Blueberry Cheesecake Shake	75 kr
Cola, Fanta, Trocadero	25 kr
Pop Art Craft soda	35 kr
Lemmelkaffe	20 kr
Hjortronfloat	45 kr
Brownie med vispgrädde	65 kr
Vaniljglass från Lejonet	35 kr
och Björnen med tillbehör	



A FEW OF OUR BEVERAGES

How to be a Bastard	75 kr
Little Bastard	75 kr
Pabst Blue Ribbon	60 kr
Lagunitas IPA	75 kr
Sam Adams Boston Lager	70 kr
Bronx Well Earned	79 kr
Sweetwater Hop Hash IPA	75 kr
Nanny State 0,5 %	45 kr
Angry Orchard Cider	69 kr
Rött / vitt vin (375 ml)	149 kr
Alkoholfritt vin	45 kr
Groggar	129 kr

ANIMAL STYLE FRIES

Valfria fries toppade med Bastarddressing, finhackad gul lök och jalapeños, smältost och bacon.

Liten Stor
55 kr / 75 kr

DIPS & SIDES

Shack fries	35 / 40 kr
Sötpotatis fries	35 / 40 kr
Mixsallad	30 kr
Mozzarellasticks 4 st	35 kr
Vegonuggets 6 bitar	45 kr
Animal Style Fries	55 / 75 kr
Bastards rotfruktschips med valfri dip	35 kr

Bastard original	15 kr
Bastard aioli	15 kr
Tryffelmajo	15 kr
Jalapeño/honung	15 kr
Chipotle	15 kr
Smältost	15 kr

AIYA NAPA Dubbel halloumi

Dubbel vegetarisk halloumburgare med picklad rödlök, biffotomat, krispsallad och vår jalapeño- och honungsdressing.

Burgare 109 kr
+ fries och läsk 159 kr

ALLERGIER?

Säg till när du beställer så hjälper vi dig.

Winslow

No. 64



bree

62

nail spa

Cold Gel
Facial Waxing

- manicure
- pedicure
- spa manicure
- spa pedicure
- waxing
- reading
- lnt
- eyelash pe
- ink extensi









DAMIAN BROWN

228 Watchung Avenue, Montclair, New Jersey, 07043

damianbrown1980@yahoo.com

571.330.6133

WORK EXPERIENCE

Co-Founder, President – The Bronx Brewery (2011 - Present)

Co-founder of NYC-based craft brewery (*\$5M annual revenue; distribution across 6 states and multiple export markets*) dedicated to celebrating the diverse Bronx community and local creative arts through its beer portfolio, taproom, public events and partnerships.

- Manages and develops a fully integrated team of 15+ employees.
- Defines brand vision, sales and marketing strategy including product innovation, portfolio management and strategic partnerships.
- Spearhead the ideation, design and build-out of current brewery and taproom facility, with second pilot brewery, taproom and kitchen location in planning.
- Developed operations strategy and management across multiple production and retail facilities with focus on process improvement and value creation.

Sr. Account Executive – Fog Creek Software (2009 - 2011)

Account management and business development for leading project management platform for developer community.

Sr. Account Executive – Red Hat, Inc. (2008 - 2009)

Managed relationships and growth across Department of Defense accounts for leading open source Linux provider.

Account Executive – Autonomy, Inc. (2007 - 2008)

Managed relationships and growth across Department of Defense, NSA, SEC, Department of Commerce and Department of Veterans Affairs accounts for leading enterprise search, unstructured data and knowledge management software company. Held a top secret clearance.

Account Executive – Convera Corporation (2005 - 2007)

Managed relationships and growth across Department of Defense and intelligence community accounts for leading multi-media/semantic network search provider. Received CEO Excellence Award in 2007.



Strategic, creative and results-oriented entrepreneur with a diverse academic and professional background and proven track record in operations management, business leadership and team-building.

Proudly leads teams and collaborates with a hands-on leadership style and insatiable curiosity for learning and understanding how things work across a broad range of subjects.

I live in Montclair, NJ with my wife, daughters and three dogs. In my free time I enjoy restoring old cars, trail running and learning to play the banjo.

References available upon request.

WORK EXPERIENCE (...)

Inside Sales Account Executive – TIBCO Software, Inc. (2003 - 2005)

Sales and business development account support and lead generation for federal and state government business for leading integration, analytics and event-processing software company.

Brewer – Shenandoah Brewing Co. (2002 - 2003)

Brewer for small craft brewpub and brew-on-premise operation in Alexandria, VA responsible for recipe development and beer production.

Outreach Paralegal – Southern Migrant Legal Services (2001 - 2002)

Oversaw employment law case recruitment, evaluation and research on behalf of migrant and seasonal farmworker community in a 7-state region of the Southeast US. Extensive fieldwork in Spanish. A subsidiary of Texas RioGrande Legal Aid (TRLA) ; supported team of 4 attorneys in establishing office in Nashville, TN.

LEADERSHIP & COMMUNITY

New York Restoration Project (NYRP) (2016 – 2018)

Led The Bronx Brewery Partnership with NYRP, including the Twigs & Swigs Volunteer series and The Haven Project in an effort to re-invigorate gardens and public spaces in under-resourced NYC neighborhoods.

New York Jewish Home and Hospital (2016 – 2018)

Pet therapy volunteer with three dogs visiting with elderly residents and patients in recovery.

Blessed Hope Poultry Farm, Cameroon (2009)

Volunteer project coordinator in partnership with the African Alliance for Developmental Action and the U.S. Navy overseeing construction and business plan development of women-owned poultry farm enterprise.

Water development projects, Honduras (2003 – 2008)

Volunteer and translator for multiple water development projects in rural Honduras providing access to drinking water to dozens of families.

EDUCATION

University of California, Davis (2009)

Master Brewers Program
Institute of Brewing & Distilling (IBD), Diploma in Brewing

Yale University (2001)

Bachelor of Arts, Political Science
3.5 GPA
Yale Rugby player and match secretary